ADDENDUM No. 1

RFP No. 25-57

SOUTH MAPLE PARK AND DEXTER PARK IMPROVEMENTS

Due: November 25, 2025, at 11:00 AM (local time)

The information contained herein shall take precedence over the original documents and all previous addenda (if any) and is appended thereto. **This Addendum includes 15 pages.**

The Proposer is to acknowledge receipt of this Addendum No. 1, including all attachments in its Proposal by so indicating in the proposal that the addendum has been received. Proposals submitted without acknowledgement of receipt of this addendum may be considered non-conforming.

The following forms provided within the RFP Document should be included in submitted proposal:

- Attachment B General Declarations
- Attachment D Prevailing Wage Declaration of Compliance
- Attachment E Living Wage Declaration of Compliance
- Attachment G Vendor Conflict of Interest Disclosure Form
- Attachment H Non-Discrimination Declaration of Compliance

<u>Proposals that fail to provide these completed forms listed above upon proposal opening may be rejected as non-responsive and may not be considered for award.</u>

I. CORRECTIONS/ADDITIONS/DELETIONS

Changes to the RFP documents which are outlined below are referenced to a page or Section in which they appear conspicuously. Offerors are to take note in its review of the documents and include these changes as they may affect work or details in other areas not specifically referenced here.

Section/Page(s)	Change
Schedule of Pricing / Cost	Schedule of Pricing/ Cost has been replaced in its entirety
Detailed Specifications Section 01 71 23.15	Detailed Specification 01 71 23.15 Construction Staking has been replaced with 01 71 23.16 Construction Staking by Contractor.
Site Plan Sheet 8	Site Plan Sheet 8 has been replaced in its entirety.
Grading Sheet 9	Grading Sheet 9 has been replaced in its entirety.
Architectural Plans A-1, A-2, A-3	Addition of the architectural plans for the Dexter Park Pavilion have been included in this addendum. See Sheet A-1, A-2, A-3.
Cut/Fill Calculations	Addition of Cut/Fill Calculation Sheets for reference purposes only. Contractor is responsible for calculating their own quantities.

II. QUESTIONS AND ANSWERS

The following Questions have been received by the City. Responses are being provided in accordance with the terms of the RFP. Respondents are directed to take note in its review of the documents of the following questions and City responses as they affect work or details in other areas not specifically referenced here.

Question 1: Does this project use federal funds?

Answer 1: No, this project will not use federal funds.

Question 2: Will bids be accepted without a post tension concrete alternate?

Answer 2: Yes, Bidders shall provide a Total Price for either the Base Bid (post tension concrete), Alternate Bid (HMA), or both. The City may elect to award for either the

Base bid or the Alternate Bid.

Question 3: Will the architectural plans for the pavilion at Dexter Park be issued as an

addendum?

Answer 3: Yes, the architectural plans for the pavilion at Dexter Park are included in this

addendum.

Question 4: What is the schedule and substantial completion date for the project?

Answer 4: The substantial completion date for the project is 245 from Notice to Proceed

(NTP). Estimating the work will begin in April, the substantial completion date will

likely be in December.

Question 5: Are saw-cut joints in the sidewalk acceptable? Yes, saw-cut joint in the sidewalk are acceptable.

Question 6: Is there a construction staking both Dexter Park and South Maple Park?

Answer 6: Yes, there is construction staking for both Dexter Park and South Maple Park.

Construction staking is the responsibility of the contractor.

Question 7: Are there removals for both for South Maple Park and Dexter Park?

Answer 7: Yes, there are removals for both South Maple Park and Dexter Park. Removals for

trees and pavement have been included in the Schedule of Pricing / Cost. All other

minor removals are incidental to Site Preparation.

Question 8: Can MDOT CLII Limestone Sand be used on this project?

Answer 8: Yes, MDOT CLII Limestone Sand can be used on this project.

Question 9: Are both parks going to be awarded together? Answer 9: It is the intent to award both parks together.

Question 10: Are there any plumbing requirements for the installation of the water fountain?

Answer 10: Yes, refer to detail on Sheet 5 for plumbing requirements for the installation of the

water fountain.

Questions 11: Where are the conduits noted in Schedule of Pricing / Cost for Dexter Park shown

in the plans?

Answer 11: This item has been removed from the Schedule of Pricing / Cost, as solar lights

are being used.

Question 12: How is the concrete pad under the Dexter Park Pavilion being paid for?

Answer 12: The 22'x 46' concrete pad per the architectural plans will be paid for in Item # 6 in

the Schedule of Pricing / Cost for Dexter Park.

Question 13: Can cut/fill calculations be shared for Dexter Park and South Maple Park?

Answer 13: Yes, the cut/fill calculation sheets have been shared for both Dexter Park and

South Maple Park in this addendum. These calculations are provided for reference

only. The Contractor is responsible for calculating their own quantities.

Offerors are responsible for any conclusions that they may draw from the information contained in the Addendum.

E. Schedule of Pricing/Cost – 20 Points

Company:	

<u>Unit Price Bid – South Maple Park</u>

Bidders shall provide a Total Price for either the Base Bid, Alternate Bid, or both. The City may elect to award for either the Base bid or the Alternate Bid.

SOUTH MAPLE PARK IMPROVEMENTS - BASE BID (POST TENSION CONCRETE)

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Site Preparation/Grading	1	LSUM		
2	Cleanup and Restoration	1	LSUM		
3	Tree and Stump Removal	1	LSUM		
4	Turf Establishment	1	LSUM		
5	Sidewalk, Conc., 4"	5430	SFT		
6	Aggregate Base, 8" (Parking Lot)	1500	SYD		
7	HMA Surface, Removal	640	SYD		
8	HMA, 4 inch	350	TONS		
9	4" Pavement Markings - Regular Dry (White)	220	FT		
10	Pavement Markings, Overlay Cold Plastic, Handicap Symbol - Blue	2	EA		
11	4" Pavement Markings - Regular Dry (Blue)	180	LFT		
12	ADA Signage	2	EA		
13	Sidewalk, Conc., Removal	100	SYD		
14	6" x 6" Post with Solar Dock Lighting	8	EA		
15	Concrete Bumper Blocks	13	EA		
16	Trash Receptacle	1	EA		
17	Bench (5')	4	EA		
18	Drainage Swale	335	LFT		
19	Pickleball Court - Vinyl Coated Fence - 8' (w/ 4 single entrance gates and 1 double entrance gate)	410	FT		
20	Pickleball Court - Post Tension Conc.	8700	SFT		
21	Pickleball Court, Nets and Post System	4	EA		
22	Pickleball Court - Color Coating, Striping	1	LSUM		
23	Tennis Court - Vinyl Coated Fence - 8' (w/ 3 single entrance gates and 1 double-entrance gates)	456	FT		
24	Tennis Court - Post Tension Conc.	12960	SFT		

25	Tennis Court, Nets and Post System	2	EA	
26	Tennis Court - Color Coating, Striping	1	LSUM	
27	Storm Sewer, PVC, 15 inch, Tr Det A	144	FT	
28	Storm Sewer, PVC, 12 inch, Tr Det A	48	FT	
29	Storm Sewer, PVC, 12 inch, Tr Det B	59	FT	
30	Storm Sewer, PVC, 6 inch, Tr Det B	10	FT	
31	Dr Structure, 48 inch Dia.	2	EA	
32	Dr Structure Cover, Type E	3	EA	
33	Dr Structure, 24 inch Dia.	2	EA	
34	Dr Structure Cover, Type B	1	EA	
35	Storm Sewer, Tap, 6 inch	1	EA	
36	12 inch Storm Sewer (End Section)	1	EA	
37	15 inch Storm Sewer (End Section)	1	EA	
38	Outlet Control Structure	1	EA	
39	RipRap	6	SYD	
40	SESC Measures (Inlet Protection)	1	LSUM	
41	SESC Measures (Silt Fence)	1750	FT	
42	Bioswale Plantings	780	EA	
43	Construction Staking	1	LSUM	
44	Mobilization, Max 10%	1	LSUM	

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SOUTH MAPLE PARK IMPROVEMENTS – ALTERNATE BID (HMA)

Provide Bid Total using the items noted below in lieu of Items #20 and #24 noted in the Base Bid above.

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
45	Pickleball Court - Aggregate Base, 6"	960	SYD		
46	Pickleball Court, HMA, 3"	262	TONS		
47	Tennis Court - Aggregate Base, 6"	1440	SYD		
48	Tennis Court - HMA, 3"	393	TONS		

SOUTH MAPLE PARK ALTERNATE BID TOTAL \$	
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Unit Price Bid – Dexter Park

Bidders shall provide a Total Price for either the Base Bid, Alternate Bid, or both. The City may elect to award for either the Base bid or the Alternate Bid.

DEXTER PARK IMPROVEMENTS - BASE BID (POST TENSION CONCRETE)

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Site Preparation/Grading	1	LSUM		
2	Tree and Stump Removal	1	LSUM		
3	Accessible Grill	2	EA		
4	Turf Establishment	1	LSUM		
5	Construct 20' x 44' Pavilion and 22' x 46' Concrete Pad	1	LSUM		
6	Sunbolt Table (Model #PPM-SQ-3B)	1	EA		
7	Sidewalk, Conc., Removal	22	SYD		
8	Sidewalk, Conc., 4"	1600	SFT		
9	Solas Ray Lighting (Model #SOPH-06-30K-V)	8	EA		
10	Tulip Tree, 8' Ht. (B&B)	2	EA		
11	Arborvitae, 6' Ht. (B&B)	16	EA		
12	Landsape, #1 cont	42	EA		
13	Seeding, Lowland	940	SYD		
14	Trash Receptacle	1	EA		
15	Bike Bollards	12	EA		
16	Bench (6')	3	EA		
17	HMA, Removal	57	SYD		
18	Aggregate Base, 6 inch 21AA	57	SYD		
19	HMA - 5" Depth	52	TONS		
20	Chain Link Fence - Vinyl Coated Fence - 6'	150	FT		
21	Chain Link Fence - Vinyl Coated Fence - 8'	60	FT		
22	Basketball Court - Post Tension Conc.	5820	SFT		
23	Basketball Goal (Including Post, Net and Backboard) - 8' Ht.	2	EA		
24	Basketball Goal (Including Post, Net and Backboard) - 10' Ht.	2	EA		
25	Basketball Court - Color Coating, Striping	1	LSUM		
26	Sanitary Sewer Tap, 4 inch (to MH #4349)	1	EA		
27	Sanitary Sewer, 4 inch	40	FT		
28	Curb Stop and Box, 1 inch	1	EA		

29	Water Service, Type K Copper, 1/2 inch, Tr Det G	65	FT	
30	Water Main Tap, 12 inch (By City)	1	EA	
31	Drinking Fountain (440 SMFA w/ Pet Fountain)	1	EA	
32	Conc. Curb	31	FT	
33	Curb and Gutter, Rem	31	FT	
34	Traffic Control	1	LSUM	
35	Construction Staking	1	LSUM	
36	Dr Structure, 48 inch Dia.	1	EA	
37	Storm Sewer, RCP CI III, 12 inch, Tr Det A	87	FT	
38	Storm Sewer, RCP CI III, 12 inch, Tr Det B	31	FT	
39	Storm Sewer, Tap, 12 inch	1	EA	
40	Outlet Control Structure, 36 inch	1	EA	
41	SESC Measures (Inlet Protection)	5	EA	
42	SESC Measures (Silt Fence)	620	FT	
43	Tree Protection Fencing	700	FT	
44	Mobilization, Max 10%	1	LSUM	

DEXTER	PARK	BASE	BID	TOTAL
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DEXTER PARK IMPROVEMENTS – ALTERNATE BID (HMA)

Provide Bid Total using the items noted below in lieu of Item #24 noted in the Base Bid above.

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
47	Basketball Court - Aggregate Base, 6"	650	SYD		
48	Basketball Court - HMA, 4.5"	530	TONS		

DEXTER PARK ALTERNATE BID TOTAL	\$
Unit Price Bid Summary	
SOUTH MAPLE PARK BASE BID	\$
SOUTH MAPLE PARK ALTERNATE BID	\$
DEXTER PARK BASE BID	\$
DEXTER PARK ALTERNATE BID	\$

SECTION 01 71 23.16 CONSTRUCTION STAKING BY CONTRACTOR

PART 1 - GENERAL

1.01 Work Included

The Contractor is responsible to provide all staking and layout necessary for construction of the project.

1.02 Notifications

In the event that it appears there is an error or contradiction between plan grades, construction stakes, and/or actual conditions, the Contractor shall notify the Owner or Engineer immediately.

PART 2 - PRODUCTS

Not Applicable

PART 3 - EXECUTION

3.01 Requirements

The Contractor is responsible to provide such layout and control work as may be required for construction of the proposed improvements.

The Contractor shall provide workers competent in the layout and control work necessary. The Contractor shall provide the equipment and materials necessary for establishing the necessary control and layout.

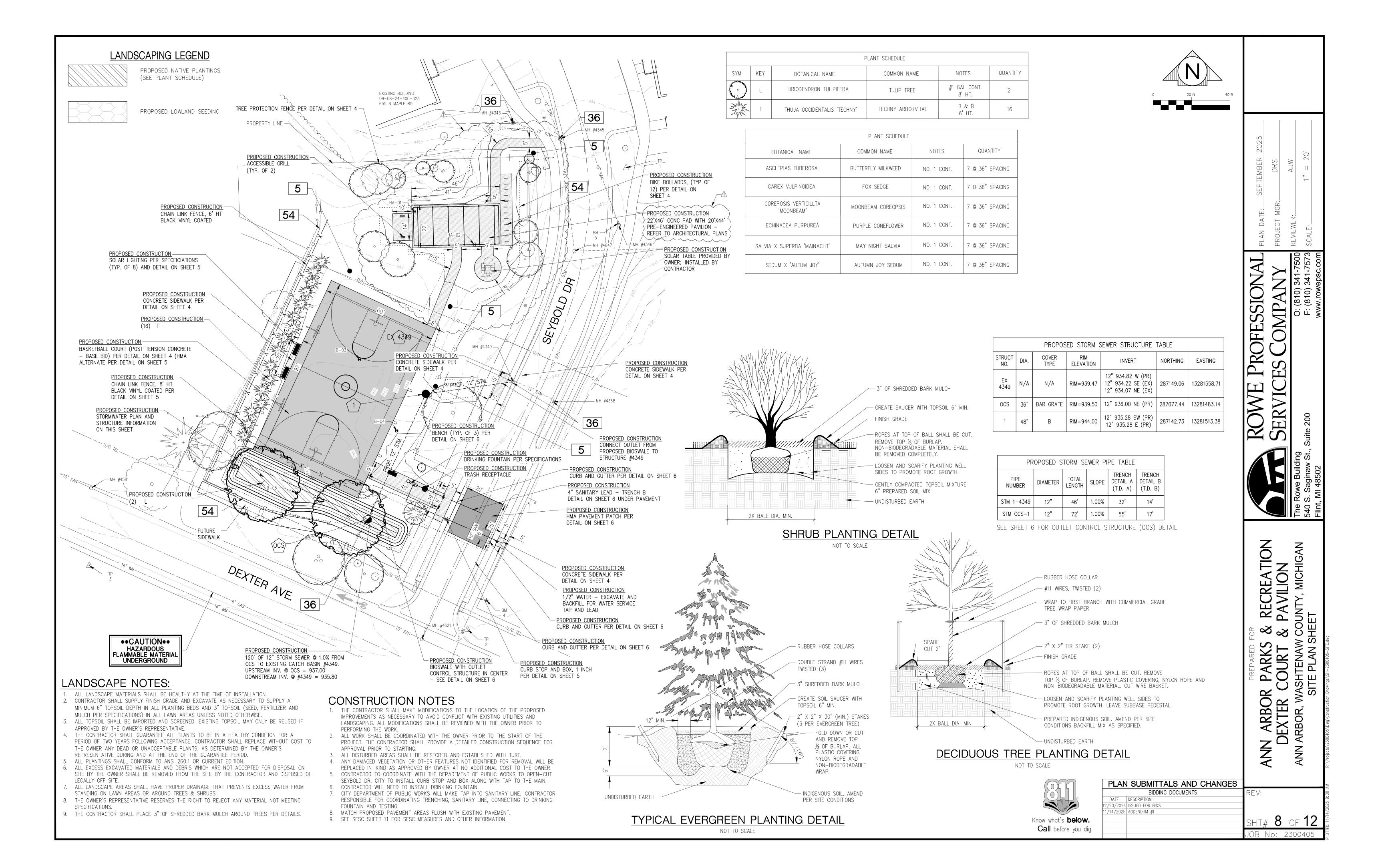
Pipelines, 8 inches or larger that are to be laid at a uniform grade, shall be laid using a laser for alignment control.

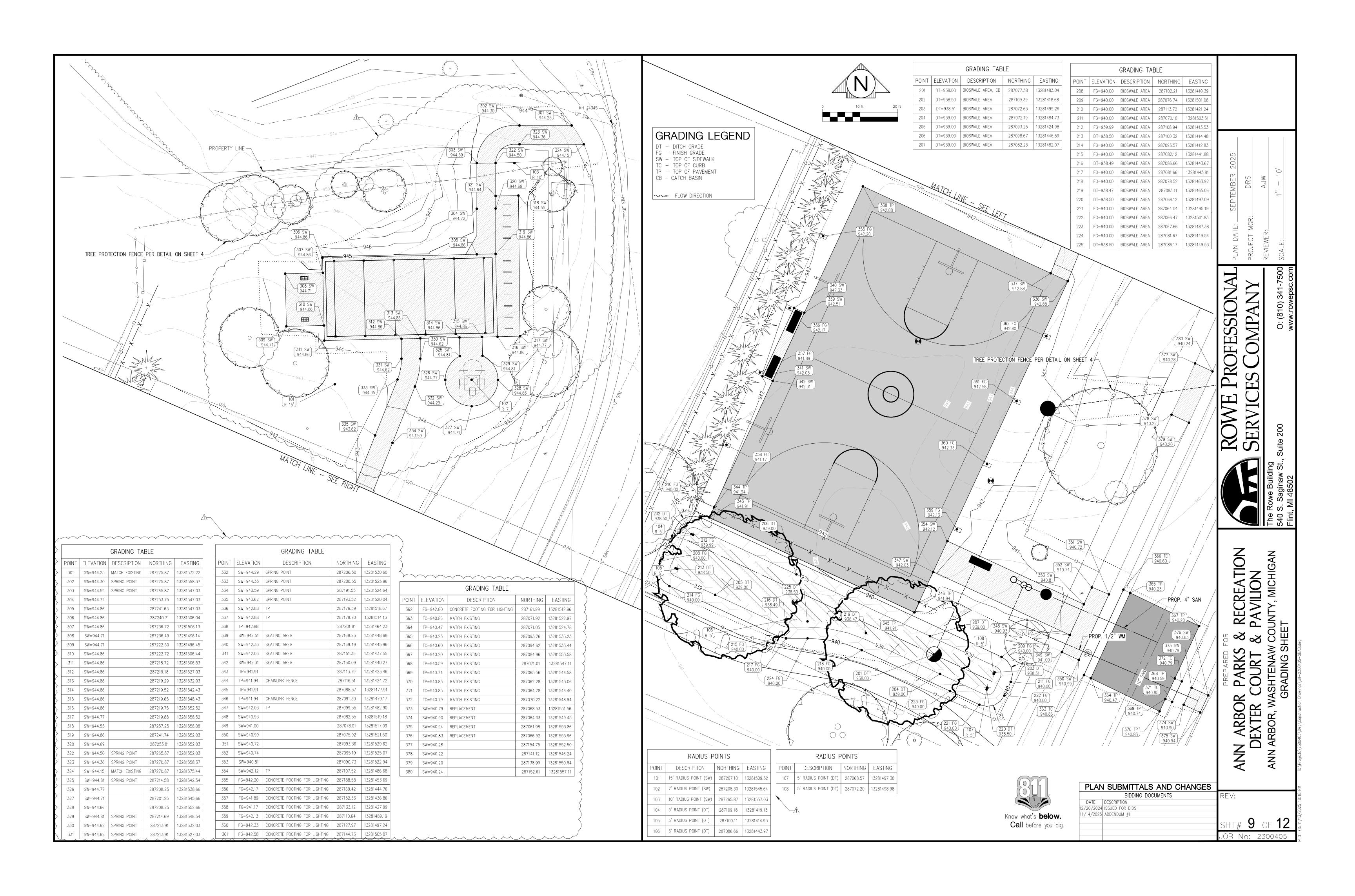
3.02 Plan Grades and Alignment

The horizontal alignment of manholes and drainage structures will be from the center of casting, unless otherwise noted.

Final casting elevation for drainage structures and manholes shall be determined by the Engineer after grading is completed.

END OF SECTION





GENERAL ARCHITECTURAL NOTES

- 1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESS ARE SHOWN NOMINAL SEE WALL TYPES FOR
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS, CEILINGS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
- 3. REFER TO FINISH FLOOR PLAN SCHEDULES FOR ALL FINISHES AND FLOOR TRANSITIONS.
- 4. ALL CORNERS OF EXPOSED MASONRY BLOCK ARE TO BE BULLNOSE.
- 5. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- 6. ALL WORK SHALL COMPLY WITH NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO START OF WORK. ALL DIMENSIONS AND FIELD CONDITIONS SHALL BE VERIFIED, AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE RECEIPT OF BIDS. FAILURE OF THE CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO THE AWARD OF BID WILL NOT BE CONSIDERED AS GROUNDS FOR AN EXTRA.
- 8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT. PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE WORKERS AND GENERAL PUBLIC DURING CONSTRUCTION.
- 9. ALL ITEMS SHALL BE AS SPECIFIED BY ARCHITECT AND ENGINEER AND AS APPROVED BY THE OWNER.
- 10. SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO INSTALLATION/APPLICATION.
- 11. ALL DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
- 12. ALL PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING MATERIALS AND CONSTRUCTION TO REMAIN.
- 13. CONTRACTOR SHALL KEEP NOISE, DUST, ETC., TO A MINIMUM STANDARD AS SET FORTH BY THE OWNER.
- 14. CONTRACTOR SHALL COORDINATE INSTALLATION AND PHASING OF WORK WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE
- 15. NOTE ALL DIMENSIONS ARE + / AND ARE TO BE FIELD VERIFIED
- 16. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL NEW WORK AS REQUIRED FOR ELECTRICAL MECHANICAL AND STRUCTURAL WITH ARCHITECTURAL IF A CONFLICT IS ENCOUNTERED, REQUEST CLARIFICATIONS FROM THE ARCHITECT. REFER TO ELECTRICAL PLANS FOR LIGHT FIXTURE TYPES, LOCATIONS AND SPECIFICATIONS. REFER TO MECHANICAL PLANS FOR DIFFUSER, REGISTERS AND RETURN GRILLES TYPES, LOCATIONS AND SPECIFICATIONS. REFER TO STRUCTURAL FOR NEW SYSTEMS DETAILS AND SPECIFICATIONS.

WORK SCOPE

PICNIC PAVILIONS:

PROVIDE (1) NEW 46'-0" x 22'-0" CONCRETE PAD PATIO AREA, WITH PRE-ENGINEERED GABLE ROOF PICNIC PAVILION STRUCTURE OF 44'-0" x 20'-0" STANDARD SIZE AND REQUIRED / DETAILED FOUNDATION SYSTEMS.

PROVIDE DEMOLITION AND REMOVAL OF EXISTING SITE VEGETATION, LANDSCAPING, TREES AND SHRUBS AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE NEW CONSTRUCTION GRADING AND SITE LAYOUT AS REQUIRED. PROVIDE NEW CONCRETE SIDEWALK PATIO AND SUB-BASE CONSTRUCTION. PROVIDE NEW PICNIC PAVILION AND FOUNDATIONS. PROVIDE ALL NECESSARY SITE RESTORATION AS REQUIRED IN AREA OF NEW CONSTRUCTION.

CONTRACTOR WILL BE REQUIRED TO LOCATED ALL EXISTING UNDERGROUND UTILITIES BEFORE "CONSTRUCTION LAYOUT AND STAKING", FINAL LOCATION MAY NEED TO BE SHIFTED / ADJUSTED AS REQUIRED FOR PROPOSED NEW CONSTRUCTION. COORDINATE IN FIELD WITH OWNER AND ARCHITECT

BUILDING CODE INFORMATION

OWNER: CITY OF ANN ARBOR PARKS AND RECREATION DEPARTMENT

PROJECT: DEXTER PARK - OUTDOOR PAVILIONS

ADDRESS: 2570 DEXTER ROAD, ANN ARBOR, MICHIGAN 48103

EXISITNG USE: PARKS AND RECREATION FACILITY

GOVERNING CODE:

THESE CONSTRUCTION DOCUMENTS ARE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL, ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

BUILDING: 2015 MICHIGAN BUILDING CODE

ACCESSIBILITY: ICC/ANSI A117.1 2009 AND MICHIGAN BARRIER FREE DESIGN LAW, PUBLIC ACT 1 OF 1996 AS AMENDED

GENERAL BUILDING INFORMATION DATA

THE PROPOSED STRUCTURE IF FOR AN OUTDOOR PICNIC PAVILION, ACCESSORY TO THE NEIGHBORHOOD PARK PROPOSED CONSTRUCTION TYPE: 5-B PER 2015 MBC

CHAPTER 3 USE and OCCUPANCY CLASSIFICATION:

PARKS AND RECREATION (UTILITY USE GROUP "U")

UTILITY AND MISCELLANEOUS USE GROUP "U" ACCESSORY MISCELLANEOUS STRUCTURE ADJACENT TO ANOTHER BUILDING FUNCTION / OCCUPANCY

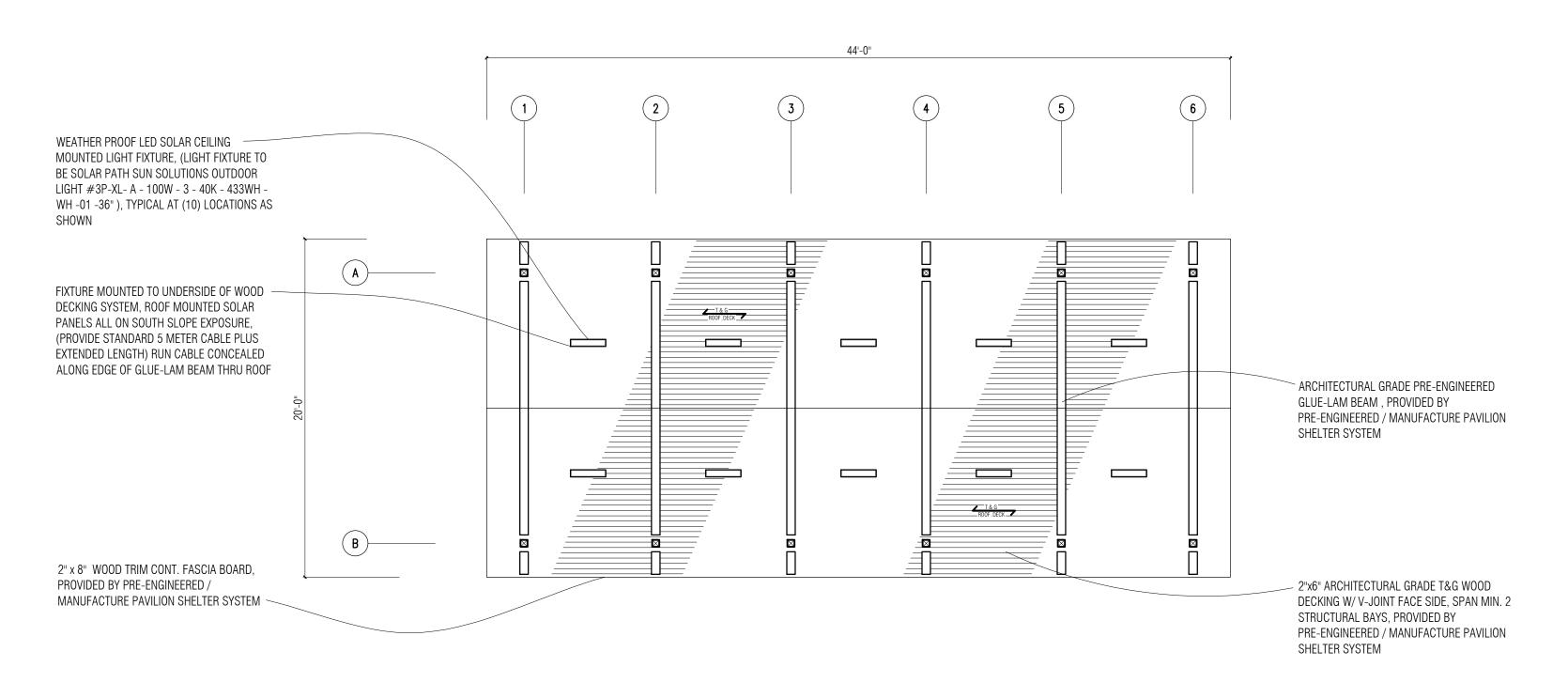
CHAPTER 6 TYPES of CONSTRUTION:

PER TABLE MBC 601 TYPE 5-B

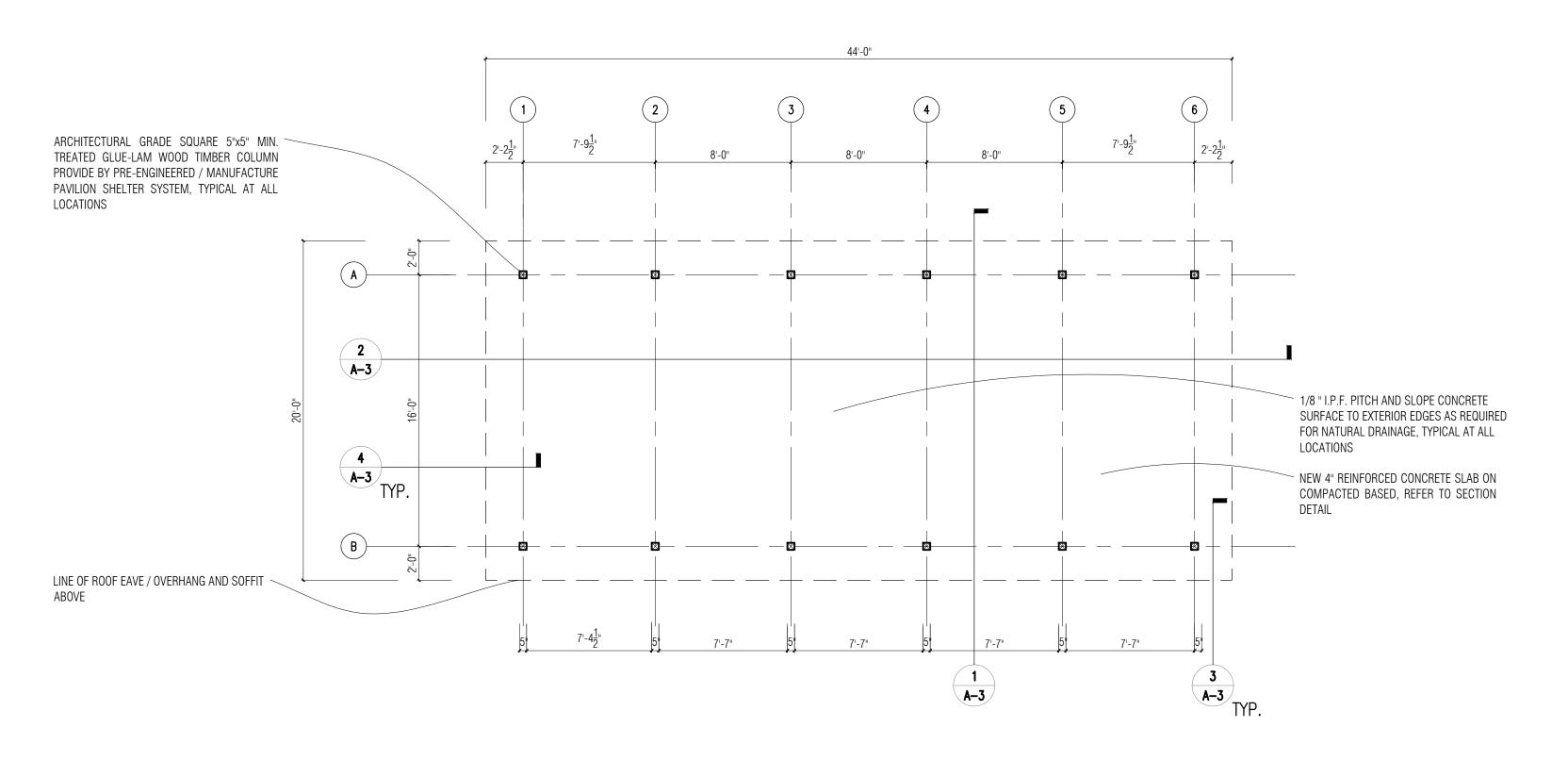
CHAPTER 11 ACCESSIBILITY:

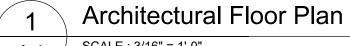
MBC 1101.2 DESIGN

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH 1966 PA 1, MCL125.1351 TO 125.1356, THIS CODE AND ICC/ANSI A 117.1, EXCEPT SECTIONS 611 AND 707









SCALE: 3/16" = 1'-0" A-1

> NOTE: ALL DIMENSIONS ARE APPROXIMATE +/- DIMENSIONS. CONTRACTORS WILL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND LOCATIONS.



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Statement of Intellectual Property

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© Copyright 2024

ENGINEER:

*** DO NOT SCALE DRAWINGS ***

PROJECT NAME:

SCHEMATIC DESIGN	•
DESIGN DEVELOPMENT	
CONSTRUCTION DOC.'S	
BIDS & PERMITS	0
CONSTRUCTION	0

DRAWN BY: CHECKED BY: REVISIONS:

SCHEMATIC DESIGN DESIGN DEVELOPMENT 08/29/23 CONSTRUCTION DOCS. 06/03/24

31 JULY 2023

PROJECT NO.: 23-078

DRAWING NAME:

Floor Plans, RCP and

Notes SHEET NO .:



TYPICAL STRUCTURAL NOTES:

GENERAL STRUCTURAL NOTES

ARE NOT SPECIFICALLY REFERENCED ON THE PLANS.

- 1. THE STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, SPECIFICATIONS AND
- THE STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN. THE STRUCTURAL DRAWINGS FORM AN INTEGRAL PART OF CONTRACT DOCUMENTS, WHICH INCLUDE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL CIVIL/SITE DRAWINGS AND SPECIFICATIONS. COORDINATE THE STRUCTURAL DRAWINGS WITH THE REQUIREMENTS SHOWN IN THE OTHER COMPONENTS OF THE
- CONTRACT DOCUMENTS. 3. TYPICAL DETAILS AND OTHER SECTIONS/DETAILS APPLY TO CONDITIONS THAT ARE SIMILAR TO THE CONDITIONS DESCRIBED IN THE SECTIONS/DETAILS, EVEN IF THEY
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, SEQUENCES AND PROCEDURES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED PER REQUIREMENTS OF CONTRACT DOCUMENTS. CONTRACTOR
- SHALL DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE-DOWNS IF NECESSARY. CONTRACTOR SHALL RETAIN OWNERSHIP OF SUCH MATERIAL AFTER COMPLETION OF THE PROJECT
- 6. CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF OSHA AND THE LOCAL GOVERNING CODES, CURRENT EDITION, AND ALL REQUIREMENTS SPECIFIED IN THE CODES SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT REQUIREMENTS SET FORTH ON THE DRAWING MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
- GOVERNING BUILDING CODE MICHIGAN (INTERNATIONAL) BUILDING CODE 2012. STANDARDS LISTED IN STRUCTURAL NOTE SECTIONS REFER TO THE VERSION AND EFFECTIVE DATE IDENTIFIED IN THE REFERENCED STANDARDS CHAPTER IN THE GOVERNING BUILDING CODE.
- WORK CONSTRUCTED PER THESE DRAWINGS SHALL BE INSPECTED BY AN INDEPENDENT TESTING AGENCY RETAINED TO ENSURE COMPLIANCE WITH THE REQUIREMENTS SHOWN ON THE DRAWINGS. SPECIAL INSPECTIONS REQUIRED BY THE GOVERNING BUILDING CODE, LOCAL BUILDING DEPARTMENT AND THE CONTRACT DOCUMENTS SHALL BE PERFORMED BY A QUALIFIED SPECIAL INSPECTOR. PROJECT SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE OR REPLACE INSPECTION.

SUBMIT SHOP DRAWINGS FOR REVIEW AS INDICATED IN MATERIAL SECTION OF GENERAL STRUCTURAL NOTES.

- USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.
- ALLOW IN THE SCHEDULE DETAILING, FABRICATION AND ERECTION A MINIMUM OF 10 WORKING DAYS FOR REVIEW OF EACH SHOP DRAWING SUBMITTAL BY THE STRUCTURAL ENGINEER. THE 10 WORKING DAYS STATED HEREIN, WILL BE IN ADDITION TO THE REVIEW TIME REQUIRED BY OTHER PROJECT TEAM MEMBERS. SUBMIT A SHOP DRAWING SUBMITTAL SCHEDULE PRIOR TO THE FIRST SUBMITTAL.
- 1. REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO CHECK THE SHOP DRAWINGS PRIOR TO SUBMITTAL. ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS NOT CONFORMING TO THE CONSTRUCTION DOCUMENTS ARE THE RESPONSIBILITY OF THE SHOP DRAWING PREPARER.
- SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL ENSURE THAT CONSTRUCTION IS IN ACCORDANCE WITH THE LATEST CONTRACT DOCUMENTS. SHOP DRAWING REVIEW IS ONLY FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. REVIEW OF THE SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT GUARANTEE THAT THE SHOP DRAWINGS ARE CORRECT NOR INFER THAT THE SHOP DRAWINGS SUPERSEDE THE CONTRACT DOCUMENTS.
- 6. CONTRACTOR SHALL PROVIDE TWO HARD COPIES OF SHOP DRAWING SETS FOR REVIEW ONE FOR RECORD AND ONE TO BE RETURNED WITH REVIEW COMMENTS. CONTRACTOR SHALL PROVIDE A SET OF APPROVED SHOP DRAWINGS BEARING THE REVIEW STAMP OF THE STRUCTURAL ENGINEER, TO THE LOCAL BUILDING DEPARTMENT AND TO THE PROJECT SITE.
- NOTES ON SUBMITTED SHOP DRAWINGS FOR WORK "BY OTHERS" CANNOT BE RESPONSIBLY APPROVED BY STRUCTURAL ENGINEER. CONTRACTOR SHALL COORDINATE RESPONSIBILITY FOR MATERIALS, CONNECTIONS, ETC. PRIOR TO SHOP DRAWING SUBMITTAL TO THE STRUCTURAL ENGINEER.
- 3. CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS AND ELEVATIONS FOR EQUIPMENT INSTALLATIONS AGAINST PURCHASED MANUFACTURER'S CERTIFIED EQUIPMENT DRAWINGS. CONTRACTOR SHALL COORDINATE DIMENSIONS THAT DEPEND UPON SPECIFIC EQUIPMENT, SUCH AS ELEVATOR OPENINGS, MECHANICAL EQUIPMENT SUPPORTS, ETC., PRIOR TO SUBMITTAL. SUCH DIMENSIONS SHALL BE PROVIDED ON THE SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE STRUCTURAL ENGINEER. CONTRACTOR'S FAILURE TO PROVIDE SUCH DIMENSIONS ON SUBMITTED SHOP DRAWINGS WILL RESULT IN SHOP DRAWING RETURN WITHOUT REVIEW.

FOOTINGS AND FOUNDATIONS

- CONTRACTOR SHALL VERIFY ALL CONDITIONS. INCLUDING UNDERGROUND UTILITIES AND FIELD MEASUREMENTS AT JOB SITE AND REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
- PROVIDE NECESSARY SHEETING, SHORING, BRACING, ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.
- COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.
- . IN ALL CASES, FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 2000 PSF. SIDES OF FOUNDATIONS SHALL BE FORMED UNLESS CONDITIONS PERMIT EARTH FORMING. FOUNDATIONS POURED AGAINST THE EARTH REQUIRE THE FOLLOWING
- PRECAUTIONS: SLOPE SIDES OF EXCAVATIONS AS APPROVED BY GEOTECHNICAL ENGINEER AND CLEAN UP SLOUGHING BEFORE AND DURING CONCRETE PLACEMENT. FOOTINGS SHALL BE CENTERED UNDER COLUMNS AND WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE DRAWINGS. NO FOOTINGS OR SLABS SHALL BE PLACED ON OR AGAINST SUB-GRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST, HOWEVER SLIGHT, ENTER
- A FOOTING EXCAVATION AFTER SUB-GRADE APPROVAL, THE SUB-GRADE SHALL BE RE-INSPECTED BY THE GEOTECHNICAL ENGINEER/TESTING LABORATORY AFTER REMOVAL OF WATER OR FROST
- 8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUB-GRADE BEFORE AND AFTER PLACING OF CONCRETE UNTIL THE FULL BUILDING ENCLOSURE IS COMPLETED AND HEATED.
- 9. EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF THE OWNER'S PROPERTY OR STORED AT THE SITE OR USED FOR BACKFILLING OPERATIONS AS REQUIRED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND PROJECT SPECIFICATION REQUIREMENTS.
- 10. CONTRACTOR SHALL FURNISH ALL REQUIRED DE-WATERING EQUIPMENT TO MAINTAIN A DRY EXCAVATION UNTIL BACKFILL IS COMPLETE WHERE NEW FOOTINGS ARE ADJACENT OR ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND DETERMINE BOTTOM OF EXISTING FOUNDATION. IF
- DIFFERENT THAN ANTICIPATED, ADJUST NEW FOUNDATIONS TO MATCH EXISTING. IN NO CASE SHALL THE NEW FOOTING BE LOWER THAN THE EXISTING WITHOUT PROTECTION AGAINST UNDERMINING SUCH AS UNDERPINNING OR SHORING.
- 12. FOUNDATION BEARING SOILS SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE TESTING SHALL INCLUDE, BUT NOT BE LIMITED TO, IDENTIFICATION OF SOILS AT AND BELOW THE FOUNDATION BEARING LEVEL, AND THE ALLOWABLE BEARING CAPACITY OF THESE SOILS. 13. A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT SHALL INSPECT THE CONDITION AND ASSURE THE ADEQUACY OF ALL SUBGRADES, FILLS,
- BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS AND WALLS. THEY SHALL SUBMIT REPORTS TO THE ARCHITECT/ENGINEER DESCRIBING THEIR INVESTIGATIONS, INCLUDING ANY NON-CONFORMING WORK.

- WHERE BACKFILL IS TO BE PLACED ON BOTH SIDES OF FOUNDATION WALLS, PROVIDE A BALANCED BACKFILL AGAINST FOUNDATION WALLS TO ELIMINATE LATERAL LOAD EFFECTS, OR PROVIDE NECESSARY TEMPORARY LATERAL SUPPORT TO THE TOP OF THE WALL UNTIL PERMANENT SUPPORT IS INSTALLED.
- 2. BACKFILL MATERIAL SHALL CONSIST OF CLEAN, WELL GRADE GRANULAR SOILS, FREE OF ORGANIC MATERIAL, SILT AND CLAY, OR AS SPECIFIED IN SECTION 2 OF THE PROJECT SPECIFICATIONS.
- 3. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY, AS DETERMINED BY THE MODIFIED PROCTOR METHOD (ASTM D1557), IN LIFTS NOT EXCEEDING

CAST-IN-PLACE CONCRETE

- 1. CONCRETE STRUCTURAL FRAMING HAS BEEN DESIGNED BY THE ULTIMATE STRENGTH METHOD PER ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL
- 2. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE OF BUILDINGS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" EXCEPT AS MODIFIED BY STRUCTURAL REQUIREMENTS NOTED ON THE DRAWINGS.
- CEMENT SHALL CONFORM TO ASTM C150 "SPECIFICATION FOR PORTLAND CEMENT" TYPE I OR III.
- CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33 "SPECIFICATION FOR CONCRETE AGGREGATES". REINFORCING SHALL CONFORM TO ASTM A615 GRADE 60.
- REINFORCEMENT SHALL BE FABRICATED AND ERECTED ACCORDING TO THE ACI STANDARDS: "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI 315 AND
- "MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES", ACI 315R. 7. WELDED WIRE FABRIC SHALL BE FURNISHED IN FLAT SHEETS (ROLLS NOT PERMITTED) AND SHALL CONFORM TO ASTM A185 AND HAVE MINIMUM SIDE AND END LAP OF 8
- 3. WELDING OF REINFORCING STEEL IS PROHIBITED UNLESS SPECIFICALLY DETAILED. WELDING WHERE DETAILED SHALL CONFORM TO AWS D1.4 SPECIFICATION. 9. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH AS FOLLOWS:
- **FOUNDATIONS**:
- SLAB-ON-GRADE: EXTERIOR CONCRETE: 4,000 PSI
- 10. EXTERIOR CONCRETE, AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES, SALT, ETC., INCLUDING WALLS, SHALL BE AIR-ENTRAINED 6% +/- 1%. 11. CONCRETE SHALL BE NORMAL WEIGHT.
- 12. CONTRACTOR SHALL SUBMIT THE CONCRETE MIX DESIGNS FOR REVIEW BY THE STRUCTURAL ENGINEER. PROPORTION MIX DESIGNS AND PROVIDE PROOF OF MIX DESIGN STRENGTH AS DEFINED IN ACI 301. THE SUBMITTAL SHALL INCLUDE CEMENT TYPE AND SOURCE, CEMENT CUBE STRENGTH, AGGREGATE GRADATIONS, WATER TESTS, ADMIXTURE CATALOG INFORMATION AND CYLINDER STRENGTH TEST RESULTS FROM 30 TESTS, ON SPECIMENS WITH IDENTICAL MIX DESIGN, FOR EACH CONCRETE MIX, OR OTHER PROOF OF STRENGTH PER ACI 301.
- 13. USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN BY THE TESTING AGENCY NOT LESS THAN ONCE PER DAY, NOR
- LESS THAN ONCE FOR EACH 100 CUBIC YARDS OF CONCRETE. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C172. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:
- AIR CONTENT ASTM C173
- COMPRESSIVE STRENGTH: ASTM C39 *
- * WITH 1 CYLINDER AT 7-DAYS, 2 CYLINDERS AT 28-DAYS, AND ONE SPECIMEN HELD IN RESERVE
- 15. CONTRACTOR SHALL PREPARE AND SUBMIT REINFORCEMENT SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE SHOP DRAWINGS SHALL CLEARLY SHOW REINFORCEMENT LENGTHS AND BENDS, LOCATIONS OF BARS, METHODS OF SUPPORT, DETAILS OF PLACEMENT AND PLACEMENT COORDINATION WITH FORMWORK, EMBEDMENTS, CONCRETE VIBRATION AND CONSTRUCTION JOINTS. THE DRAWINGS SHALL ALSO INDICATE OPENINGS, SLEEVES, CURBS AND CONCRETE DIMENSIONS IN ACCORDANCE WITH ACI 315. PROVIDE, AT MINIMUM WALL, COLUMN AND BEAM ELEVATIONS; WALL, COLUMN AND BEAM SECTIONS,
- MATERIAL SCHEDULES. BAR LAP SCHEDULES AND LOCATIONS 16. CONTRACTOR SHALL TIE REINFORCING STEEL SECURELY IN PLACE PRIOR TO PLACING CONCRETE AND PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN THE POSITION OF REINFORCING WITHIN SPECIFIED TOLERANCES DURING ALL CONSTRUCTION ACTIVITIES. INSERTING DOWELS INTO WET CONCRETE IS NOT PERMITTED.
- 17. HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS WITH THE MINIMUM LAP PER ACI 318 UNLESS DETAILED OR NOTED OTHERWISE. CORNER BARS SHALL BE PROVIDED AT CHANGES IN WALL DIRECTION (HOWEVER SMALL) AND SHALL BE OF THE SAME SIZE AND SPACING AS THE HORIZONTAL STEEL. EACH CORNER BAR LEG TO PROVIDE LAP SPLICE PER ACI 318 UNLESS DETAILED OR NOTED OTHERWISE. EXTEND HORIZONTAL WALL REINFORCING THROUGH PIERS.
- 18. HOOKED BARS SHALL BE STANDARD 90 DEGREE HOOKS PER ACI UNLESS NOTED OTHERWISE ON THE DRAWINGS 19. MINIMUM LAP SPLICE SHALL BE CLASS B PER ACI. LOCATION OF LAP SPLICES SHALL BE AS INDICATED ON CONSTRUCTION DOCUMENTS AND/OR AS SHOWN ON THE
- APPROVED REINFORCING STEEL SHOP DRAWINGS. 20. REINFORCING STEEL SHALL NOT BE CUT, BENT OR STRAIGHTENED IN THE FIELD UNLESS APPROVED BY THE STRUCTURAL ENGINEER OR AS INDICATED ON THE
- 21. REINFORCING STEEL SHALL BE PLACED WITH MINIMUM CONCRETE COVER AND TOLERANCES AS PER REQUIREMENTS OF ACI 318.
- 22. NO ALUMINUM CONDUIT OR PRODUCTS CONTAINING ALUMINUM OR ANY OTHER MATERIAL INJURIOUS TO THE CONCRETE SHALL BE EMBEDDED IN THE CONCRETE. PROVIDE TWO #5 BARS (ONE EACH FACE) AROUND UNFRAMED OPENINGS IN SLABS AND WALLS. PLACE BARS PARALLEL TO SIDES OF OPENINGS AND EXTEND THEM 24 INCHES BEYOND CORNERS. UNLESS OTHERWISE NOTED.
- 24. CONTRACTOR SHALL OBTAIN APPROVAL PRIOR TO PLACING OPENINGS OR SLEEVES NOT SHOWN ON THE DRAWINGS, THROUGH ANY STRUCTURAL MEMBER. 25. CONTRACTOR SHALL REVIEW ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR BASES, OPENINGS, SLEEVES, ANCHORS, INSERTS, CONDUITS, RECESSES
- AND OTHER DEVICES IN CONCRETE WORK BEFORE PLACING CONCRETE. 26. PROVIDE 3/4" X 3/4" CHAMFER STRIP AT ALL EXPOSED CORNERS OF CONCRETE MEMBERS, UNLESS NOTED OTHERWISE
- 27. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POUR SEQUENCES AND CONSTRUCTION PROCEDURES FOR ALL CONCRETE WORK TO ACCOUNT FOR TEMPERATURE DIFFERENTIALS AND SHRINKAGE OCCURRING DURING THE CONSTRUCTION PHASE UNTIL THE BUILDING IS PERMANENTLY IN A MECHANICALLY
- 28. COORDINATE VAPOR RETARDER REQUIREMENTS WITH FLOOR FINISH REQUIREMENTS. 29. PROVIDE POCKETS OR RECESSES IN CONCRETE WORK FOR STEEL COLUMNS AND BEAMS AS REQUIRED AND/OR AS CALLED FOR IN THE SPECIFICATIONS EVEN IF NOT
- SHOWN ON THE DRAWINGS. PROVIDE CONCRETE FILL AFTER STEEL ERECTION.
- 30. REFER TO ARCHITECTURAL DRAWINGS FOR SLAB RECESSES AND FOR FLOOR FINISH MATERIALS AND REQUIREMENTS 31. THE USE OF CHLORIDES SUCH AS DEICING SALTS IS PROHIBITED FOR MELTING ICE PRIOR TO PLACEMENT OF CONCRETE
- CURING OF CONCRETE SURFACES SHALL CONFORM TO ACI 308.1 "STANDARD SPECIFICATION FOR CONCRETE CURING" AND ACI 308R "GUIDE TO CURING CONCRETE" 33. JOINTS TO BE PREPARED AND FILLED WITH JOINT SEALANT SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION JOINTS, CONTROL JOINTS, ISOLATION JOINTS, AND ALL INTERFACE JOINTS BETWEEN SIMILAR AND DISSIMILAR MEMBERS. SPECIFIC LOCATIONS MAY BE INDICATED ON THE DRAWINGS, OR MAY BE REQUIRED BY APPROVED SHOP DRAWINGS, OR MAY OCCUR DUE TO THE CONSTRUCTION SEQUENCE SELECTED BY THE CONTRACTOR.
- 34. PRIOR TO PLACING CONCRETE ADJACENT TO EXISTING CONCRETE, THOROUGHLY CLEAN, DE-GREASE AND MECHANICALLY ROUGHEN EXISTING CONCRETE SURFACES. APPLY BONDING AGENT PRIOR TO PLACING FRESH CONCRETE. BONDING AGENT SHALL BE "SIKA ARMATEC 110 EPOCHEM" BY SIKA CORPORATION, OR APPROVED EQUAL. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR SURFACE PREPARATION. MIXING AND APPLICATION.
- 35. NON-SHRINK: GROUT SHALL CONFORM TO ASTM C1107. GROUT SHALL BE PREMIXED, NON-SHRINK, NON-CATALYZED NATURAL AGGREGATE GROUT WITH A MINIMUM
- 7-DAY COMPRESSIVE STRENGTH OF 7,000 PSI PLASTIC, 6,000 PSI FLOWABLE, AND 5,000 PSI FLUID CONSISTENCY.
- 36. REINFORCING STEEL, ANCHOR RODS AND EMBED PLACEMENT SHALL BE INSPECTED, PRIOR TO PLACEMENT OF CONCRETE, IN ACCORDANCE WITH ACI-318 AND CODE REQUIRED SPECIAL INSPECTION BY QUALIFIED INSPECTOR PRIOR. THESE INSPECTIONS ARE NOT INCLUDED IN THE BASIC SERVICES OF THE STRUCTURAL ENGINEER OF

STATEMENT OF SPECIAL INSPECTIONS

DESIGNATIONS: SI SPECIAL INSPECTOR QUALIFIED WITH DEMONSTRATED COMPETENCE DOCUMENTED BY CERTIFICATIONS FROM RECOGNIZED AGENCIES SUCH AS AWS, ACI, MASONRY INSTITUTE OF MICHIGAN (MIM), ETC AS SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL. SPECIAL INSPECTOR MAY BE A FIRM WITH MULTIPLE SPECIALISTS AND A PROJECT MANAGER PROVIDING REPORTS. TA TESTING AGENCY QUALIFIED TO TEST AND INSPECT MATERIALS AND ASSEMBLIES. TESTING AGENCY SHALL BE UNDER THE SUPERVISION OF THE SPECIAL INSPECTOR.

SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MICHIGAN (INTERNATIONAL) BUILDING CODE CHAPTER 17 AND AS MODIFIED HEREI

- GE GEOTECHNICAL ENGINEER WHO PROVIDED THE ORIGINAL PROJECT GEOTECHNICAL SOILS INVESTIGATION REPORT. SE SPECIALTY ENGINEER RESPONSIBLE FOR DESIGNING ASSEMBLIES SUCH AS PRECAST CONCRETE, STEEL JOISTS, COLD FORMED FRAMING ASSEMBLIES, ETC. SPECIALTY ENGINEER SHALL PROVIDE OBSERVATION OF FABRICATED AND INSTALLED ITEMS OF THEIR DESIGN IN ADDITION TO THE SPECIAL INSPECTION.
- TA, GE, AND SE SHALL SUBMIT RECORDS OF THE INSPECTION RESULTS TO THE SI. THE SI SHALL COMPILE AND SUBMIT INSPECTION RECORDS TO THE ARCHITECT/ENGINEER AND BUILDING OFFICIAL. RECORDS SHALL INCLUDE STATEMENTS OF TESTS, WHETHER INSTALLED/FABRICATED ITEM COMPLIES WITH CONTRACT DOCUMENTS, REMEDIAL WORK PERFORMED, RETESTS. SI SHALL PROVIDE A DAILY REPORT OF ANY DISCREPANCIES FROM THE CONTRACT DOCUMENTS FOUND ON THE SAME DAY OF THE INSPECTION TO THE ENGINEER OF RECORD. FORMAL REPORTS OF COMPLIANCE CAN FOLLOW BY A MAXIMUM OF 2 WEEKS. SI SHALL PROVIDE AND SIGN FINAL REPORT WITH A SUMMARY OF ALL TESTS PERFORMED AND RESULTS TO THE ENGINEER OF RECORD AND BUILDING
- SI, TA & GE SHALL BE ENGAGED BY THE OWNER IN COMPLIANCE WITH THE MICHIGAN (INTERNATIONAL) BUILDING CODE. WHERE FABRICATION OF STRUCTURAL, LOAD-BEARING, OR LATERAL LOAD-RESISTING MEMBERS OR ASSEMBLIES IS BEING CONDUCTED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTIONS THE FABRICATED ITEMS SHALL BE PERFORMED DURING FABRICATION. SPECIAL INSPECTIONS DURING FABRICATION ARE NOT REQUIRED WHERE THE FABRICATOR MAINTAINS APPROVED DETAILED FABRICA AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR CONTROL OF THE WORKMANSHIP AND THE FABRICATOR'S ABUILITY TO CONFORM TO A PROVIDE DOSTRUCTION DOCUMENTS AND THE GOVERNING BUILDING CODE. APPROVAL SHALL BE BASED UPON REVIEW OF FABRICATION AND QUALITY CONTROL PROCEDURES AND PERIODIC INSPECTION OF FABRICATION PRACTICES BY THE BUILDING OFFICIAL SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE FABRICATOR IS REGISTERED APPROVED IN ACCORDANCE WITH SECTION 1704.25.1
- REFER TO SPECIAL INSPECTION SCHEDULES AND GENERAL STRUCTURAL NOTES FOR ADDITIONAL QUALITY CONTROL TESTING AND INSPECTIONS.

	INODECTION TACK	INSPECTION FREQUENCY		REFERENCED		RESPONSIBL
	INSPECTION TASK	CONTINUOUS	PERIODIC	STANDARD	IBC REFERENCE	AGENT
1.	VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	х		1705.6	SI/GE
2.	VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	Х		1705.6	SI/GE
3.	PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	Х		1705.6	SI/GE/TA
4.	VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	х	-		1705.6	SI/GE/TA
5.	PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	Х		1705.6	SI/GE/TA
6.	GEOPIER FOUNDATIONS:					
	A. VERIFY SHAFT DIAMETER AND CONDITION OF SHAFT.	Х	-			
	B. VERIFY BEARING SOILS.	Х	-		1705.7 SW	SI/GE
	C. DETERMINE CAPACITIES OF TEST GEOPIERS (MODULUS AND UPLIFT) AND CONDUCT ADDITIONAL LOAD TESTS AS REQUIRED.	х	-			
	D. OBSERVE GEOPIER INSTALLATION OPERATION AND MAINTAIN A COMPLETE AND ACCURATE RECORD OF EACH GEOPIER INCLUDING OBSERVING SUBSURFACE CONDITIONS AND SOILS AND BOTTOM STABILIZATION TESTS	х	-			
	E. COORDINATE ALL ACTIVITIES WITH INSTALLER'S FULL TIME QUALITY CONTROL REPRESENTATIVE.	Х	-	-		
7.	DRIVEN DEEP FOUNDATION ELEMENTS:					
	A. VERIFY ELEMENT MATERIALS, SIZES AND LENGTHS COMPLY WITH THE REQUIREMENTS.	х	-			
	B. DETERMINE CAPACITIES OF TEST ELEMENTS AND CONDUCT ADDITIONAL LOAD TESTS, AS REQUIRED.	х	-		1705.7	
	C. INSPECT DRIVING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT.	х	-			
	D. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM TYPE AND SIZE OF HAMMER, RECORD NUMBER OF BLOWS PER FOOT OF PENETRATION, DETERMINE REQUIRED PENETRATIONS TO ACHIEVE DESIGN CAPACITY, RECORD TIP AND BUTT ELEVATIONS, AND DOCUMENT ANY DAMAGE TO	х	-			SI/GE
	E. FOR STEEL ELEMENTS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705.2.	-	-	-		
	F. FOR CONCRETE ELEMENTS AND CONCRETE-FILLED ELEMENTS, PERFORM TESTS AND ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705.3.	-	-			
	G. FOR SPECIALTY ELEMENTS, PERFORM ADDITIONAL INSPECTIONS AS DETERMINED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE	-	-			
8.	CAST-IN-PLACE DEEP FOUNDATION ELEMENTS:					
	INSPECT DRILLING OPERATIONS AND MAINTAIN A COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT.	х	-			
	B. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM ELEMENT DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE), AND ADEQUATE END-BEARING STRATA CAPACITY. RECORD CONCRETE OR GROUT VOLUMES.	х	-		1705.8	SI/GE
ř.				⊣	1	1

SPECIAL INSPECTION REQUIREMENTS - WOOD CONSTRUCTION						
INODEOTION TACK	INSPECTION FREQUENCY		REFERENCED	IDO DEFEDENCE	RESPONSIBLE	
INSPECTION TASK	CONTINUOUS	PERIODIC	STANDARD	IBC REFERENCE	AGENT	
PRE-FABRICATED WOOD						
A. INSPECTION OF FABRICATION PROCESS OF PRE-FABRICATED WOOD STRUCTURAL ELEMENTS.	-	х	MANUFACTURER'S FABRICATION AND QUALITY CONTROL PROCEDURES	1704.2.5, 1705.5	SI	
2. TIMBER FRAMING						
A. INSPECTION OF FIELD GLUING OPERATIONS.	х	-	MANUFACTURER'S SPECIFICATIONS	1705.5	SI	
B. INSPECTION OF NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS WITHIN THE LATERAL-FORCE-RESISTING SYSTEM INCLUDING DRAG STRUTS, BRACES, AND TIE-DOWNS.	х	-	MANUFACTURER'S SPECIFICATIONS	1705.5	SI	
C. INSPECTION FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS THAT ARE INVLUDED IN THE LATERAL-FORCE-RESISTING SYSTEM AND FOR WHICH THE PROVISIONS REQUIRE THE SPACING OF NAILS, SCREWS, OR FASTENERS FOR WOOD SHEATHING TO BE 6 INCHES OR LESS ON CENTER.	х	-	MANUFACTURER'S SPECIFICATIONS	1705.5	SI	
3. HIGH LOAD DIAPHRAGMS						
A. INSPECTION OF DIAPHRAGMS.	Х	-	-	SECTION 2306.2, 1705.5.1	SI	

C. PERFORM ADDITIONAL INSPECTION IN ACCORDANCE WITH REQUIREMENTS OF CONCRETE CONSTRUCTION.

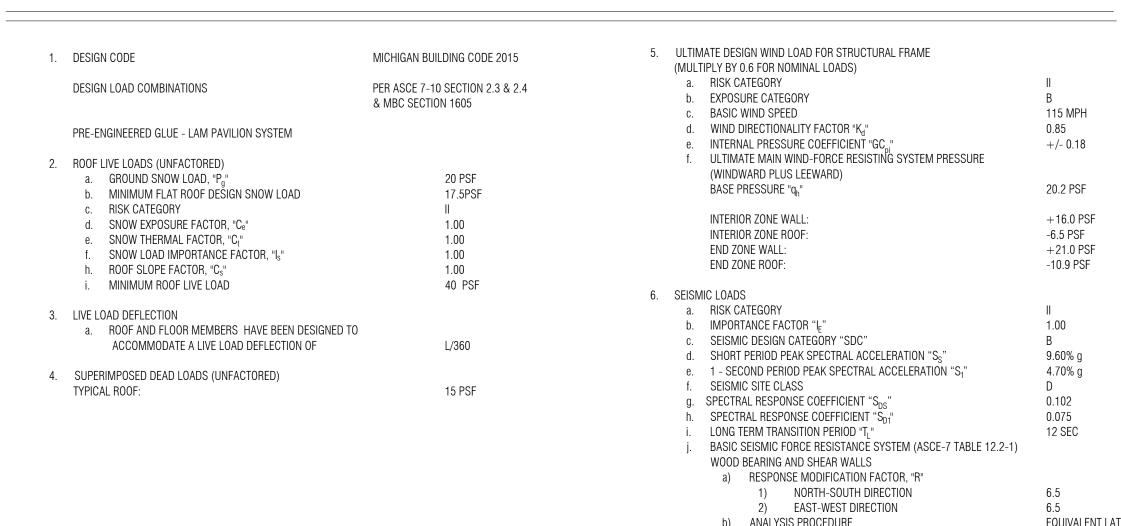
	SPECIAL INSPECTION RE	QUIREMEN	TS - CONCI	RETE CONSTRU	JCTION	
	INODECTION TACK	INSPECTION	FREQUENCY	REFERENCED	IBC REFERENCE	RESPONSIBLE AGENT
	INSPECTION TASK	CONTINUOUS	PERIODIC	STANDARD	IBC REFERENCE	
1.	INSPECT REINFORCEMENT, INCLUDING PRESTRESSING TENDONS, AND VERIFY PLACEMENT.	-	Х	ACI 318: Ch. 20, 25.2, 25.3, 26.6.1-26.6.3	1908.4	SI
2.	REINFORCING BAR WELDING:					
	A. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706	-	Х	AWS D1.4 ACI 318: 26.6.4		61
	B. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16"	-	Х			SI
	C. INSPECT ALL OTHER WELDS	х	-			
3.	INSPECT ANCHORS CAST IN CONCRETE.	-	Х	ACI 318: 17.8.2	-	SI / TA
4.	INSPECT ANCHORS POST-INSTALLED IN HARDENED MEMBERS.					SI / TA
	A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS.	х		ACI 318: 17.8.2.4		
	B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.A.		Х	ACI318: 17.8.2		
5.	VERIFY USE OF REQUIRED DESIGN MIX.	-	Х	ACI 318: Ch. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3	SI / TA
6.	PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	х	-	ASTM C172 ASTM C31 ACI 318: 26.4, 26.12	1908.10	SI / TA
7.	INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	×	-	ACI 318: 26.5	1908.6, 1908.7, 1908.8	SI
8.	VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	Х	ACI 318: 26.5.3-26.5.5	1908.9	SI
9.	INSPECT PRESTRESSED CONCRETE FOR:					
	A. APPLICATION OF PRE-STRESSED FORCES	х	-	ACI 318: 26.10	-	SI / SE
	B. GROUTING OF BONDED PRESTRESSING TENDONS	х	-			
10.	INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.	-	Х	ACI 318: Ch. 26.8	-	SI / SE
11.	VERIFY IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	-	х	ACI 318: 26.11.2	-	SI / SE / TA
12.	INSPECT FORMWORK FOR SHAPE, LOCATION, AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	Х	ACI 318: 26.11.1.2(b)	-	SI/SE/TA

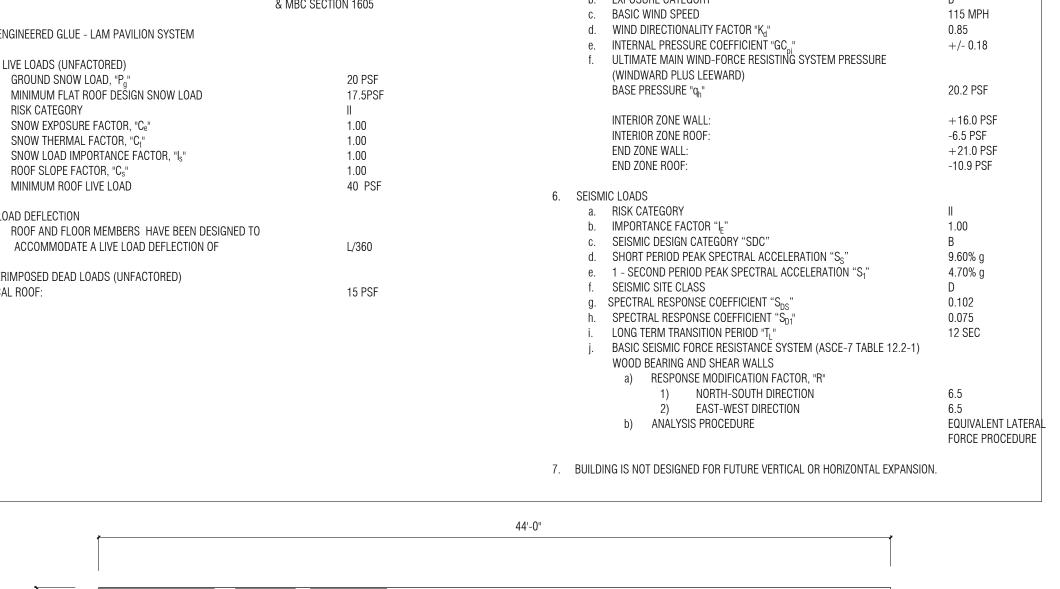
SPECIAL INSPECTION RE	QUIREMENTS - POST-INSTALLED AN	CHORS	
INSPECTION TASK	REFERENCED STANDARD	IBC REFERENCE	RESPONSIBLE AGENT
1. INSPECT AND TEST ALL POST-INSTALLED MECHANICAL AND ADHESIVE ANCHORS	ICC-ESR FOR EACH ANCHOR	1705.1.1	SI / TA

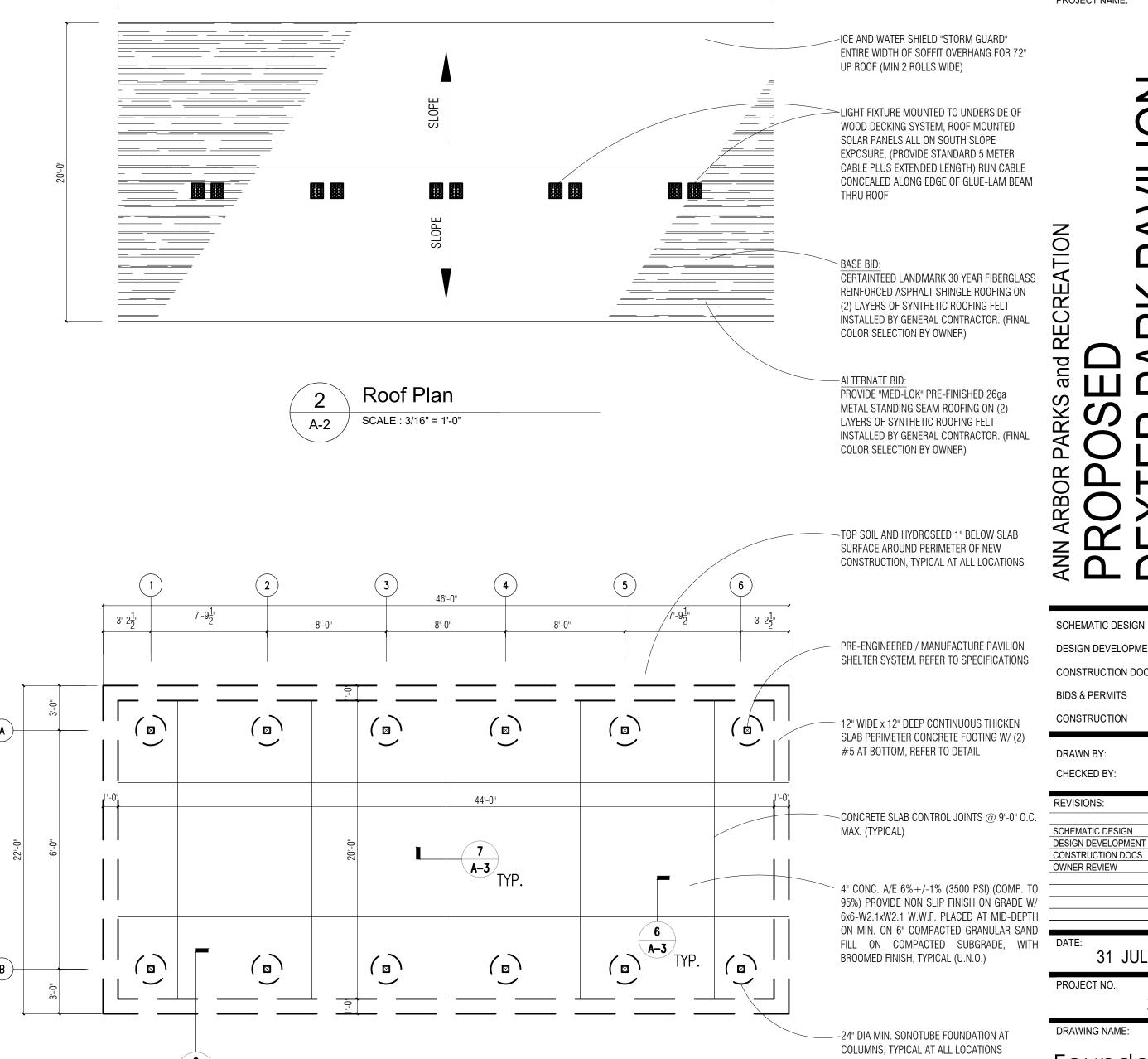
ADDITION	INCREATION EDECLIENCY	NAIL SPACING (INCHES)			
APPLICATION	INSPECTION FREQUENCY	PANEL EDGES	INTERMEDIATE SUPPORT		
SHEATHING-ROOF SHEATHING	COMMON SMO	COMMON SMOOTH, RING OR SCREW-SHANK			
5/16 TO 1 PERFORMANCE CATEGORY	8d	6	12		
THICKER PANELS	8d RING OR SCREW-SHANK OR 10d COMMON	6	12		
FOR SPANS 48" OR GREATER	8d RING OR SCREW-SHANK OR 10d COMMON	6	6		

TASK	INSPECTION	FREQUENCY	REFERENCED	IBC REFERENCE	RESPONSIE
IASK	CONTINUOUS	PERIODIC	STANDARD		AGENT
INSPECTION OF STEEL FABRICATOR:			AISC QUALITY CERTIFICATION	1704.2	SI
A. VERIFY Q.C. PROCEDURES ARE AISC COMPLIANT AND CURRENT.	-	X	ALGO GOALLI I GERTII IOATION	1704.2	31
MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS, AND WASHERS:			-	-	
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	х	APPLICABLE ASTM MATERIAL SPECIFICATIONS; AISC 360, SECTION A3.3	-	SI
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.	-	X	-	-	
INSPECTION OF HIGH-STRENGTH BOLTING:					
A. BEARING TYPE CONNECTIONS.	-	X	AISC 360 SECTION M2.5 1704.3.3 S	SI/TA	
B. SLIP CRITICAL TYPE CONNECTIONS.	X	-			
MATERIAL VERIFICATION OF STRUCTURAL STEEL:					
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	Х	ASTM A6 ASTM A568	1708.4 SI	
B. MANUFACTURER'S CERTIFIED MILL TEST REPORTS.	-	X			
MATERIAL VERIFICATION OF WELD FILLER MATERIALS:			-	-	
A. IDENTIFICATION OF MARKINGS TO CONFORM TO AWS SPECIFICATIONS IN THE APPROVED CONSTRUCTION DOCUMENTS.	-	Х	AISC 360 SECTION A3.5	-	SI/TA
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE.	-	Х	-	-	
INSPECTION OF WELDING:			-	-	
A. STRUCTURAL STEEL:					
 COMPLETE AND PARTIAL PENETRATION GROOVE WELDS. 	X	-			
ii. MULTI PASS FILLET WELDS.	X	-	AWS D1.1	1704.3.1	
iii. SINGLE-PASS FILLET WELDS > 5/16".	X	-			
iv. SINGLE-PASS FILLET WELDS = 5/16".</td <td>-</td> <td>X</td> <td></td> <td></td> <td></td>	-	X			
v. FLOOR AND DECK WELDS	-	X	AWS D1.3		
vi. STAIR AND RAILING WELDS.	-	X		_	
vii. SHEAR STUD WELDS.	-	X	AWS D1.1	-	SI/TA
B. REINFORCING STEEL:			-	-	
i. VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A-706.	x	-			
ii. REINFORCING STEEL-RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL REINFORCED CONCRETE SHEAR WALLS AND SHEAR REINFORCEMENT.	x	-	AWS D1.4 ACI 318: 3.5.2.	-	
iii. SHEAR REINFORCEMENT.	Х	-	7		
iv. OTHER REINFORCING STEEL.	-	Х	7		
INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS:					
A. DETAILS SUCH AS BRACING AND STIFFENING.	-	Х	7 .	1704.3.2	SI
B. MEMBER LOCATIONS.	-	X			
C. APPLICATION OF JOINT DETAILS AT EACH CONNECTION.	_	X	╗		

STRUCTURAL DESIGN LOADS







SCALE: 3/16" = 1'-0"

1. REFERENCE FINISHED 1ST. FLOOR ELEVATION = 100'-0".

2. FOOTINGS ARE DESIGNED TO BEAR ON UNDISTURBED NATURAL SOILS OR ON

ENGINEERED FILL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 3000 PSF.

33668 BARTOLA DRIVE STERLING HEIGHTS MI 48312 586.436.0187

ifrarchitects@gmail.com www.jfrarchitects.com

Statement of Intellectual Property

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thoughts expressed herein have bee developed for the exclusive use of this specified project and are the intellectual property of JFR ARCHITECTS. PC. This set of drawings and construction documents, in whole or in part, may not be reproduced, without the writte consent of JFR ARCHITECTS, PC This information is protected under U.S. Copyright Law, all rights reserved.

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*** DO NOT SCALE DRAWINGS ***

ENGINEER:

PROJECT NAME:

DESIGN DEVELOPMENT CONSTRUCTION DOC.'S **BIDS & PERMITS** CONSTRUCTION DRAWN BY: CHECKED BY:

DESIGN DEVELOPMENT 08/29/23 CONSTRUCTION DOCS.

Foundation Plan and

BAISES OF DESIGN

PRE-ENGINEERED PAVILION SYSTEM MANUFACTURES

DESIGN SHALL MEET AND/OR EXCEED PROJECT CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ALL APPLICABLE BUILDING CODES.

PRE-ENGINEERED PAVILION SYSTEM TO BE PRE-FABRICATED PACKAGES SHALL INCLUDE GLUE LAMINATED WOOD BEAMS, STRUCTURAL COLUMNS, WOOD T & G ROOF DECKING SYSTEM, TRIM AND FASCIA. AND COLUMN, BEAM, FOUNDATION CONNECTION SYSTEMS AS REQUIRED.

ALL REQUIRED RELATED STRUCTURAL ENGINEERING DESIGN AND ASSOCIATED MATERIALS ARE TO BE INCLUDED AS PART OF THE PRE-ENGINEERED PAVILION SYSTEM PACKAGE.

PRE-ENGINEERED, PRE-FABRICATED PACKAGES SHALL BE DESIGNED AS A FIXED BASE, HEAVY TIMBER CONSTRUCTION STRUCTURE.

ALL CHANGES IN SPECIFIED SIZES AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PRE-ENGINEERED MANUFACTURER'S RESPONSIBILITY TO INCLUDE ALL COST FOR INTERIOR/EXTERIOR DESIGN ADJUSTMENTS THAT MAY BE REQUIRED.

BAISES OF DESIGN MANUFACTURE:

CEDAR FOREST PRODUCTS CO, P.O.BOX 145, WEST OLIVE, MI 49460,1-800-552-9495, WWW.CEDARFORESTPRODUCTS.COM

BASES OF DESIGN: 20' x 44' LAM BEAM GABLE: MODEL #LB2044 3:12 LOW PITCH BEAM SHELTER HEIGHT 8'-0"

APPROVED MANUFACTURES:

TIMBER SYSTEM, INC., 162 S. SAGINAW ST., LAPEER, MI 48446, 1-810-245-6212 WWW.TIMBERSYSTEMS.COM

ENWOOD STRUCTURES, 10224 DURANT RD., SUITE 201, RALEIGH, NC 27614, 1-919-518-0464 WWW.ENWOOD.COM

RCP SHELTERS, INC., 2100 SE RAYS WAY, STUART, FL 34994, 1-800-525-3600 WWW.RCPSHELTERS.COM

SPECIFICATIONS

STRUCTURAL GLUE LAMINATED TIMBER SHALL BE IN CONFORMANCE WITH AITC STANDARD (LATEST EDITION).

SPECIES: LAMINATING LUMBER SHALL BE KILN-DRIED, ARCHITECTURAL GRADE, SEALED AND WRAPPED. THE ROOF SYSTEM FOR WOOD STRUCTURES AND BUILDINGS ARE DESIGNED TO WITHSTAND 30 PSF LIVE LOAD AND 20 PSF WIND LOAD. PLEASE CHECK LOCAL CODES. FOR HEAVIER LOAD REQUIREMENTS, PLEASE CONSULT WITH CEDAR FOREST PRODUCTS COMPANY. THE ROOF SLOPE SHALL BE 3/12.

STRUCTURAL GLUE LAMINATED TIMBER SHALL BE IN CONFORMANCE WITH AITC (LATEST EDITION). SPECIES: LAMINATING LUMBER SHALL BE KILN-DRIED PORT ORFORD CEDAR, ARCHITECTURAL APPEARANCE GRADE. LAMINATED COLUMNS SHALL BE SIZED TO SUIT LOADING REQUIREMENTS. MANUFACTURERS SHALL FURNISH CONNECTION STEEL AND HARDWARE FOR

STRUCTURAL GLUE LAMINATED TIMBER MEMBERS TO THEIR SUPPORTS, EXCLUSIVE OF ANCHORAGE AND EMBEDMENT IN MASONRY OR CONCRETE (ANCHOR BOLTS ARE NOT

CONNECTOR PLATES

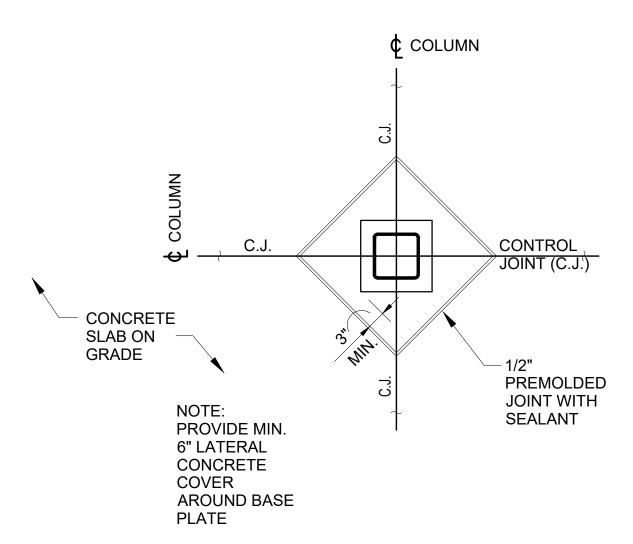
PLATES SHALL BE FABRICATED FROM STRUCTURAL STEEL ASTM-A-36. PLATES TO BE POWDER COATED BLACK. HARDWARE: A-325 ZINC PLATED MACHINE BOLTS AND NUTS.

2" X 6" (NOMINAL), #1 GRADE, SINGLE TONGUE AND GROOVE WITH V-JOINT ON BOTTOM FACE, KILN DRIED SOUTHERN YELLOW PINE, MAXIMUM MOISTURE CONTENT SHALL BE 19% OR LESS SELECTED FOR DECKING. SPECIFIED LENGTHS, WITH ALL JOINTS OVER SUPPORTS.

<u>SHINGLES</u>

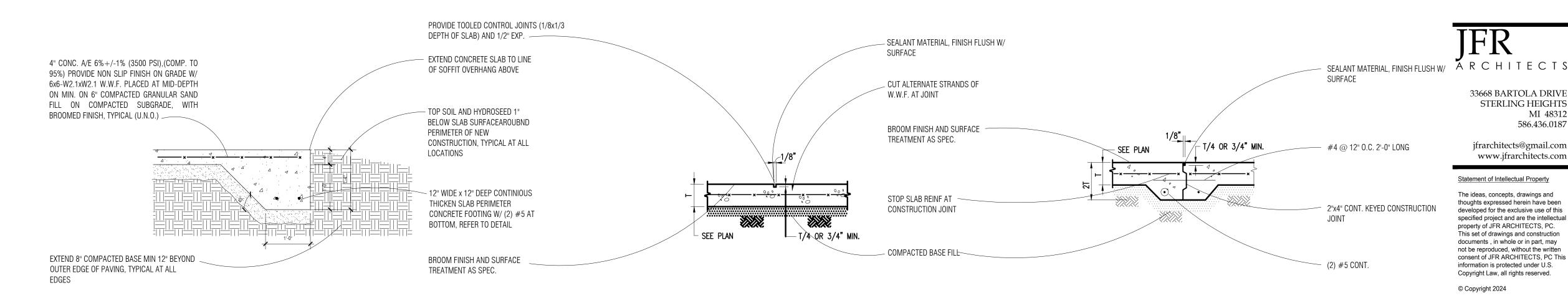
CLASS "A" FIRE RATED, ARCHITECTURAL GRADE, LAMINATED FIBERGLASS SHINGLE WITH A 30 YEAR LIMITED WARRANTY. TO BE INSTALLED, OVER 30 LB. FELT. ROOF APPLICATION AS PER MANUFACTURER'S SPECIFICATIONS. COLOR TO BE APPROVED BY OWNER/DESIGN

2X8NOM CEDAR, "D"/ BETTER GRADE, KILN-DRIED, SURFACED ON FOUR SIDES.





A-3



Section at Supported Slab Edge

PROVIDE 10' x 10' CONTROL JOINT PATTERN

4" 4000 PSI CONCRETE SIDEWALK

WITH A BROOM FINISH

PROVIDE EXPANSION JOINT ON 20' x 20' GRID

PROVIDE EXPANSION JOINT AT ALL COLD JOINTS

W/ 6x6-W2.1xW2.1 W.W.F. PLACED AT MID-DEPTH ON MIN.

6" CLASS II SAND SUB BASE COMPACTED IN PLACE

REMOVE AN ADDITIONAL8" OF EARTH BELOW FINISH GRADE UNDER TOP SOIL AND SOD REMOVAL AND

TO 95% MAXIMUM DENSITY BY UNIT WEIGHT

COMPACTED SUB-BASE TO 95% DENSITY

SCALE : 1/2" = 1'-0"

Detail at Slab Control Joint SCALE : 1/2" = 1'-0" A-3

Detail at Slab Construction Joint

SCALE : 1/2" = 1'-0" A-3

PROJECT NAME:

ENGINEER:

*** DO NOT SCALE DRAWINGS ***

MI 48312

586.436.0187

SCHEMATIC DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOC.'S BIDS & PERMITS

CONSTRUCTION DRAWN BY: CHECKED BY: **REVISIONS:**

SCHEMATIC DESIGN

ALTERNATE BID:

PROVIDE "MED-LOK" PRE-FINISHED 26ga

CONSTRUCTION DOCS. 06/03/24 OWNER REVIEW

DESIGN DEVELOPMENT 08/29/23

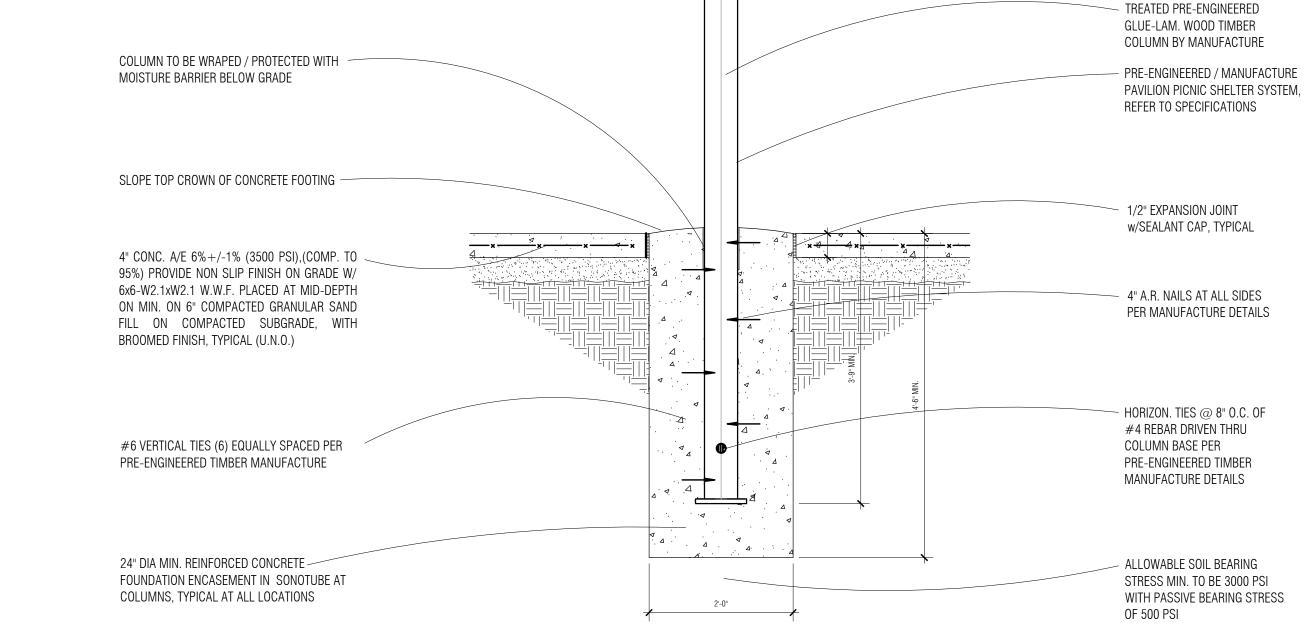
31 JULY 2023 PROJECT NO.:

23-078

DRAWING NAME: Sections

Details SHEET NO .:

and



Pavilion Footing Detail

SCALE: 1/2" = 1'-0"

SCALE: 3/16" = 1'-0"

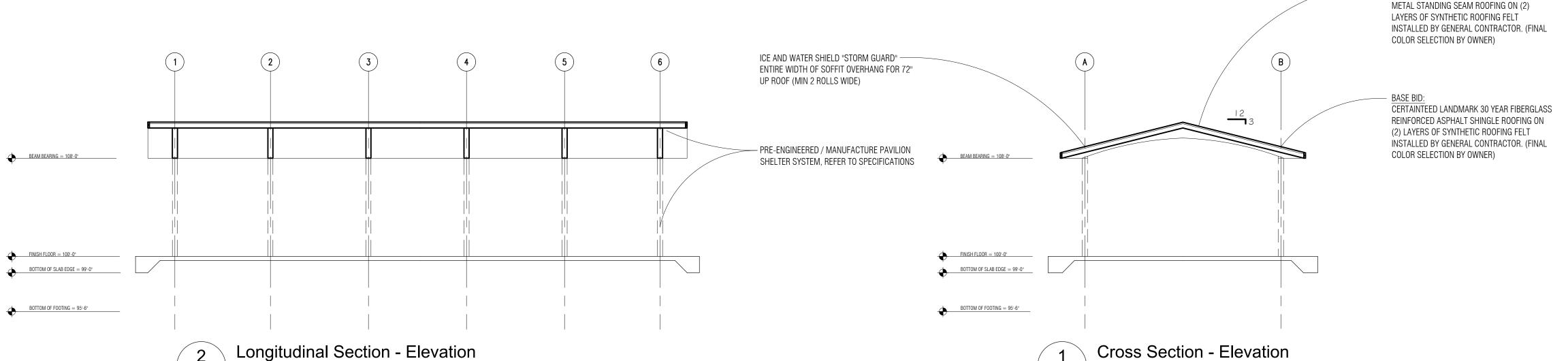
A-3

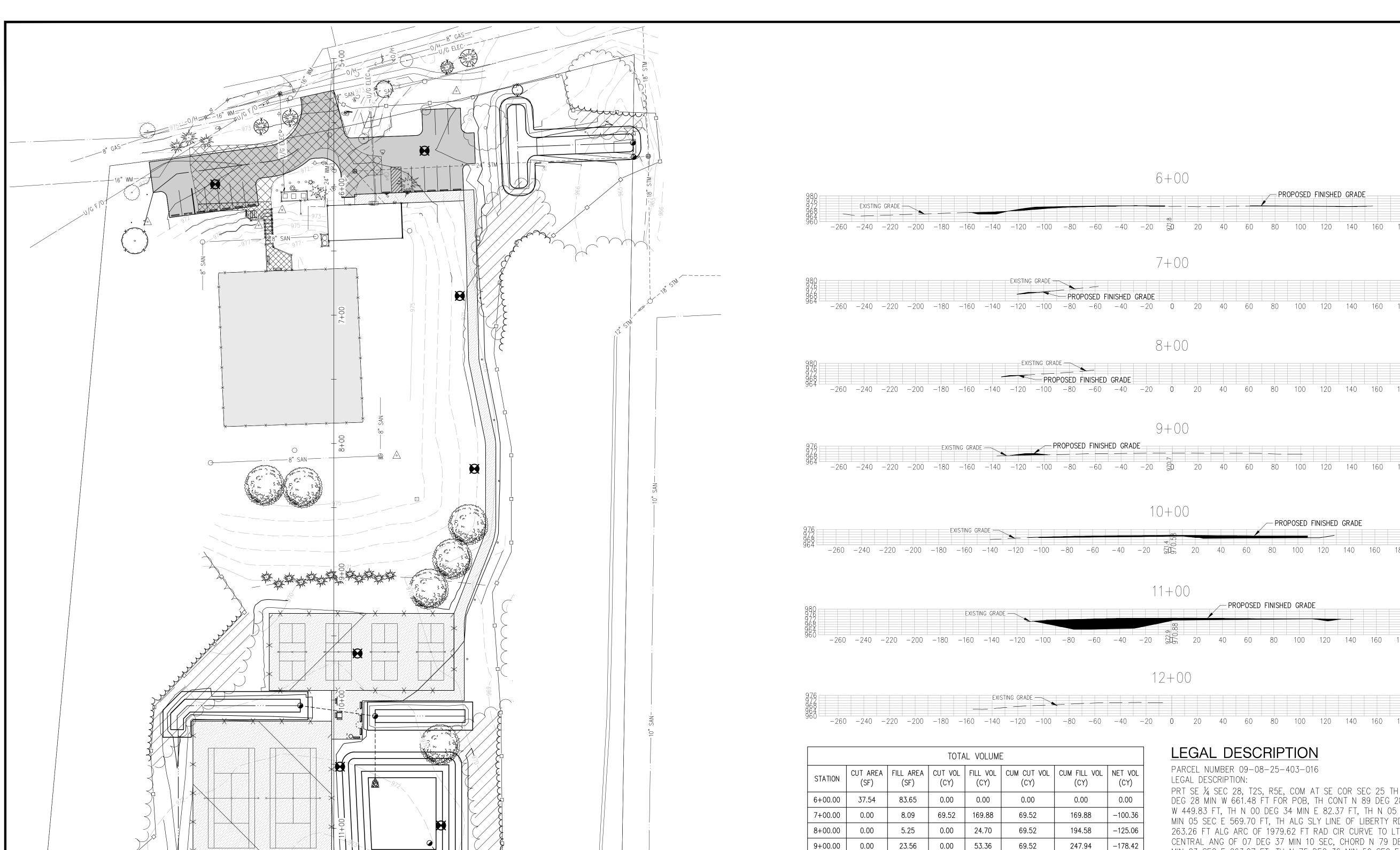


SCALE: 3/16" = 1'-0"

NOTE: PROVIDE AT 1/2" EXPANSION JOINT (REINFORCEMENT SHALL NOT BE CONTINUOUS ACROSS JOINT)

2% MAX CROSS SLOPE





10+00.00

11+00.00

12+00.00

NOTE:

755.84

0.00

0.00

0.00

0.00

OWNER INFORMATION

ANN ARBOR PARKS & RECREATION

HILLARY HANZEL, PARK PLANNER AND LANDSCAPE ARCHITECT 301 E. HURON ST. ANN ARBOR, MI 48104

PHONE: (734) 794-6230 EXT. 42584

EMAIL: HHANZEL@A2GOV.ORG

481.16 43.64

1399.71 0.00

FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING THEIR OWN QUANITIES.

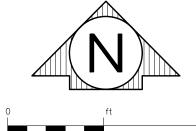
0.00

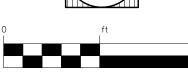
1880.87

550.69

2431.56

3831.26





PRT SE 1/4 SEC 28, T2S, R5E, COM AT SE COR SEC 25 TH N 89 DEG 28 MIN W 661.48 FT FOR POB, TH CONT N 89 DEG 28 MIN W 449.83 FT, TH N 00 DEG 34 MIN E 82.37 FT, TH N 05 DEG 11 MIN 05 SEC E 569.70 FT, TH ALG SLY LINE OF LIBERTY RD 263.26 FT ALG ARC OF 1979.62 FT RAD CIR CURVE TO LT, CENTRAL ANG OF 07 DEG 37 MIN 10 SEC, CHORD N 79 DEG 25 MIN 23 SEC E 263.07 FT, TH N 75 DEG 36 MIN 50 SEC E 155.09 FT TH S 00 DEG 52 MIN 30 SEC 2 740.74 FT TO POB

PARCEL NUMBER 09-08-25-403-017 LEGAL DESCRIPTION: LOTS 42-55 W LIBERTY HEIGHTS SPLIT/COMBINED ON

259.11

2139.98

291.58 3539.68

291.58

291.58

03/08/2018 FROM 09-08-25-403-014, 09-08-25-403-015

PROPERTY ADDRESS

2655 W. LIBERTY ST. ANN ARBOR, MI 48103



Know what's **below.** Call before you dig

PLAN SUBMITTALS AND CHANGES PRELIMINARY PLANS - **NOT FOR CONSTRUCTION**

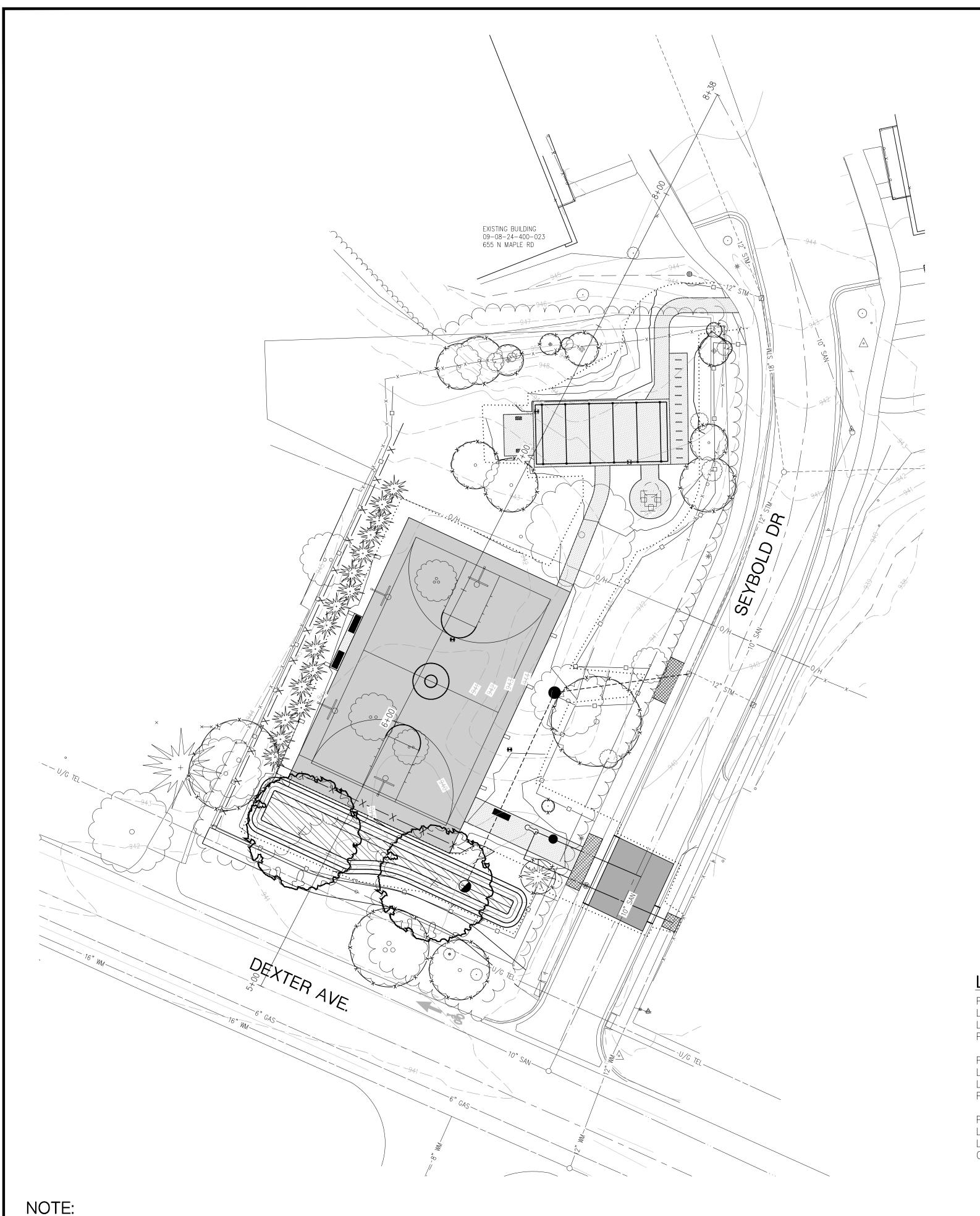
2

TS

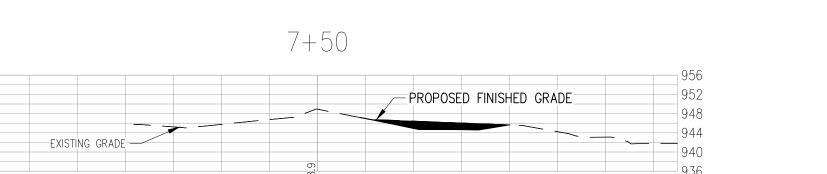
& RECREATION

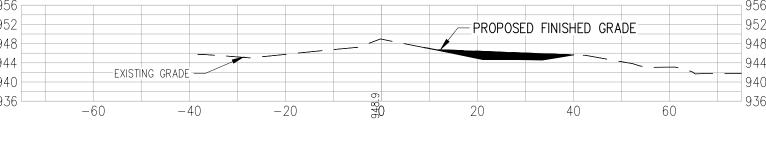
IMPROVEMENT
COUNTY, MICHIGAN
LATIONS

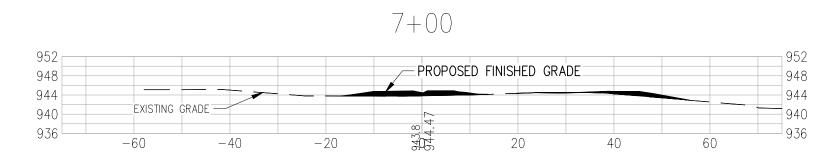
N ARBOR PARK PLE PARK COU N ARBOR, WASHTEN CUT/FILL CA

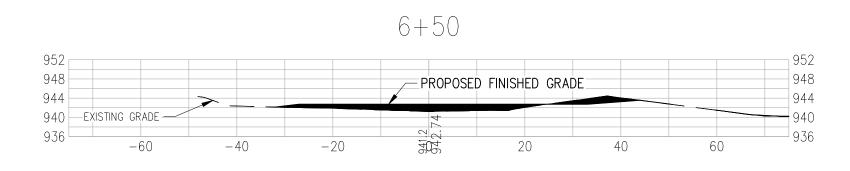


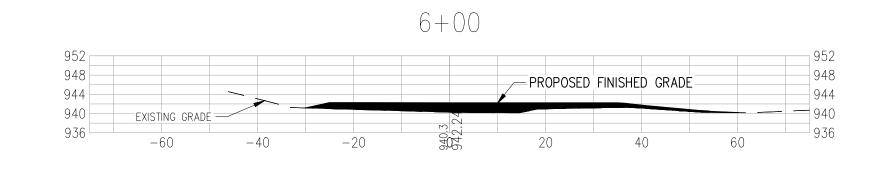
FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING THEIR OWN QUANITIES.

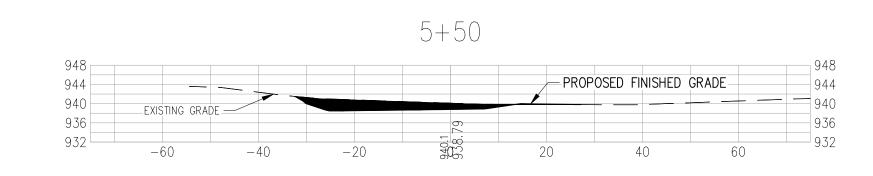












			TOTA	AL VOLUM	E		
STATION	CUT AREA (SF)	FILL AREA (SF)	CUT VOL (CY)	FILL VOL (CY)	CUM CUT VOL (CY)	CUM FILL VOL	NET VOL (CY)
5+50.00	69.52	1.10	0.00	0.00	0.00	0.00	0.00
6+00.00	0.00	109.52	64.37	102.43	64.37	102.43	-38.06
6+50.00	15.08	59.70	13.96	156.68	78.34	259.11	-180.78
7+00.00	0.84	32.81	14.74	85.66	93.07	344.77	-251.70
7+50.00	31.38	0.05	29.83	30.43	122.90	375.20	-252.30

LEGAL DESCRIPTION

PARCEL NUMBER 09-08-24-421-031 LEGAL DESCRIPTION: LOT 250 SCIOTO HILLS NUMBER ONE AS RECORDED IN LIBER 8 OF PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

PARCEL NUMBER 09-08-24-421-032 LEGAL DESCRIPTION:

LOT 251 SCIOTO HILLS NUMBER ONE AS RECORDED IN LIBER 8 OF PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

PARCEL NUMBER 09-08-24-421-033 LEGAL DESCRIPTION:

LOT 252 SCIOTO HILLS NUMBER ONE, AS RECORDED IN LIBER 8 OF PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

OWNER INFORMATION

ANN ARBOR PARKS & RECREATION ADAM FERCHO, PARK PLANNER AND LANDSCAPE ARCHITECT 301 E. HURON ST. ANN ARBOR, MI. 48104 PHONE: (517) 281-7810 EMAIL: AFERCHÓ@A2GOV.ORG

SITE INFORMATION

2570 DEXTER AVE. ANN ARBOR, MI. 48103



	ADBOE
Know what's below. Call before you dig.	<u> </u>
- AND CHANGE	

	Call before you dig.
	PLAN SUBMITTALS AND CHANGES
REV	PRELIMINARY PLANS - **NOT FOR CONSTRUCTION**
	DATE DESCRIPTION
	#### ####
	#### ####
	#### ####
1 2H	#### ####
	#### ####
10B	#### ####

COMPAN



O: (810) 341-79 www.rowepsc.c