

ADDENDUM No. 1

RFP No. 25-57

SOUTH MAPLE PARK AND DEXTER PARK IMPROVEMENTS

Due: November 25, 2025, at 11:00 AM (local time)

The information contained herein shall take precedence over the original documents and all previous addenda (if any) and is appended thereto. **This Addendum includes 15 pages.**

The Proposer is to acknowledge receipt of this Addendum No. 1, including all attachments in its Proposal by so indicating in the proposal that the addendum has been received. Proposals submitted without acknowledgement of receipt of this addendum may be considered non-conforming.

The following forms provided within the RFP Document should be included in submitted proposal:

- **Attachment B – General Declarations**
- **Attachment D - Prevailing Wage Declaration of Compliance**
- **Attachment E - Living Wage Declaration of Compliance**
- **Attachment G - Vendor Conflict of Interest Disclosure Form**
- **Attachment H - Non-Discrimination Declaration of Compliance**

Proposals that fail to provide these completed forms listed above upon proposal opening may be rejected as non-responsive and may not be considered for award.

I. CORRECTIONS/ADDITIONS/DELETIONS

Changes to the RFP documents which are outlined below are referenced to a page or Section in which they appear conspicuously. Offerors are to take note in its review of the documents and include these changes as they may affect work or details in other areas not specifically referenced here.

Section/Page(s)	Change
Schedule of Pricing / Cost	Schedule of Pricing/ Cost has been replaced in its entirety
Detailed Specifications Section 01 71 23.15	Detailed Specification 01 71 23.15 Construction Staking has been replaced with 01 71 23.16 Construction Staking by Contractor.
Site Plan Sheet 8	Site Plan Sheet 8 has been replaced in its entirety.
Grading Sheet 9	Grading Sheet 9 has been replaced in its entirety.
Architectural Plans A-1, A-2, A-3	Addition of the architectural plans for the Dexter Park Pavilion have been included in this addendum. See Sheet A-1, A-2, A-3.
Cut/Fill Calculations	Addition of Cut/Fill Calculation Sheets for reference purposes only. Contractor is responsible for calculating their own quantities.

II. QUESTIONS AND ANSWERS

The following Questions have been received by the City. Responses are being provided in accordance with the terms of the RFP. Respondents are directed to take note in its review of the documents of the following questions and City responses as they affect work or details in other areas not specifically referenced here.

Question 1: Does this project use federal funds?

Answer 1: No, this project will not use federal funds.

Question 2: Will bids be accepted without a post tension concrete alternate?

Answer 2: Yes, Bidders shall provide a Total Price for either the Base Bid (post tension concrete), Alternate Bid (HMA), or both. The City may elect to award for either the Base bid or the Alternate Bid.

Question 3: Will the architectural plans for the pavilion at Dexter Park be issued as an addendum?

Answer 3: Yes, the architectural plans for the pavilion at Dexter Park are included in this addendum.

Question 4: What is the schedule and substantial completion date for the project?

Answer 4: The substantial completion date for the project is 245 from Notice to Proceed (NTP). Estimating the work will begin in April, the substantial completion date will likely be in December.

Question 5: Are saw-cut joints in the sidewalk acceptable?

Answer 5: Yes, saw-cut joint in the sidewalk are acceptable.

Question 6: Is there a construction staking both Dexter Park and South Maple Park?

Answer 6: Yes, there is construction staking for both Dexter Park and South Maple Park. Construction staking is the responsibility of the contractor.

Question 7: Are there removals for both for South Maple Park and Dexter Park?

Answer 7: Yes, there are removals for both South Maple Park and Dexter Park. Removals for trees and pavement have been included in the Schedule of Pricing / Cost. All other minor removals are incidental to Site Preparation.

Question 8: Can MDOT CLII Limestone Sand be used on this project?

Answer 8: Yes, MDOT CLII Limestone Sand can be used on this project.

Question 9: Are both parks going to be awarded together?

Answer 9: It is the intent to award both parks together.

Question 10: Are there any plumbing requirements for the installation of the water fountain?

Answer 10: Yes, refer to detail on Sheet 5 for plumbing requirements for the installation of the water fountain.

Questions 11: Where are the conduits noted in Schedule of Pricing / Cost for Dexter Park shown in the plans?

Answer 11: This item has been removed from the Schedule of Pricing / Cost, as solar lights are being used.

Question 12: How is the concrete pad under the Dexter Park Pavilion being paid for?

Answer 12: The 22'x 46' concrete pad per the architectural plans will be paid for in Item # 6 in the Schedule of Pricing / Cost for Dexter Park.

Question 13: Can cut/fill calculations be shared for Dexter Park and South Maple Park?

Answer 13: Yes, the cut/fill calculation sheets have been shared for both Dexter Park and South Maple Park in this addendum. These calculations are provided for reference only. The Contractor is responsible for calculating their own quantities.

Offerors are responsible for any conclusions that they may draw from the information contained in the Addendum.

E. Schedule of Pricing/Cost – 20 Points

Company: _____

Unit Price Bid – South Maple Park

Bidders shall provide a Total Price for either the Base Bid, Alternate Bid, or both. The City may elect to award for either the Base bid or the Alternate Bid.

SOUTH MAPLE PARK IMPROVEMENTS – BASE BID (POST TENSION CONCRETE)

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Site Preparation/Grading	1	LSUM		
2	Cleanup and Restoration	1	LSUM		
3	Tree and Stump Removal	1	LSUM		
4	Turf Establishment	1	LSUM		
5	Sidewalk, Conc., 4"	5430	SFT		
6	Aggregate Base, 8" (Parking Lot)	1500	SYD		
7	HMA Surface, Removal	640	SYD		
8	HMA, 4 inch	350	TONS		
9	4" Pavement Markings - Regular Dry (White)	220	FT		
10	Pavement Markings, Overlay Cold Plastic, Handicap Symbol - Blue	2	EA		
11	4" Pavement Markings - Regular Dry (Blue)	180	LFT		
12	ADA Signage	2	EA		
13	Sidewalk, Conc., Removal	100	SYD		
14	6" x 6" Post with Solar Dock Lighting	8	EA		
15	Concrete Bumper Blocks	13	EA		
16	Trash Receptacle	1	EA		
17	Bench (5')	4	EA		
18	Drainage Swale	335	LFT		
19	Pickleball Court - Vinyl Coated Fence - 8' (w/ 4 single entrance gates and 1 double entrance gate)	410	FT		
20	Pickleball Court - Post Tension Conc.	8700	SFT		
21	Pickleball Court, Nets and Post System	4	EA		
22	Pickleball Court - Color Coating, Striping	1	LSUM		
23	Tennis Court - Vinyl Coated Fence - 8' (w/ 3 single entrance gates and 1 double-entrance gates)	456	FT		
24	Tennis Court - Post Tension Conc.	12960	SFT		

25	Tennis Court, Nets and Post System	2	EA		
26	Tennis Court - Color Coating, Striping	1	LSUM		
27	Storm Sewer, PVC, 15 inch, Tr Det A	144	FT		
28	Storm Sewer, PVC, 12 inch, Tr Det A	48	FT		
29	Storm Sewer, PVC, 12 inch, Tr Det B	59	FT		
30	Storm Sewer, PVC, 6 inch, Tr Det B	10	FT		
31	Dr Structure, 48 inch Dia.	2	EA		
32	Dr Structure Cover, Type E	3	EA		
33	Dr Structure, 24 inch Dia.	2	EA		
34	Dr Structure Cover, Type B	1	EA		
35	Storm Sewer, Tap, 6 inch	1	EA		
36	12 inch Storm Sewer (End Section)	1	EA		
37	15 inch Storm Sewer (End Section)	1	EA		
38	Outlet Control Structure	1	EA		
39	RipRap	6	SYD		
40	SESC Measures (Inlet Protection)	1	LSUM		
41	SESC Measures (Silt Fence)	1750	FT		
42	Bioswale Plantings	780	EA		
43	Construction Staking	1	LSUM		
44	Mobilization, Max 10%	1	LSUM		

SOUTH MAPLE PARK BASE BID TOTAL

\$ _____

SOUTH MAPLE PARK IMPROVEMENTS – ALTERNATE BID (HMA)

Provide Bid Total using the items noted below in lieu of Items #20 and #24 noted in the Base Bid above.

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
45	Pickleball Court - Aggregate Base, 6"	960	SYD		
46	Pickleball Court, HMA, 3"	262	TONS		
47	Tennis Court - Aggregate Base, 6"	1440	SYD		
48	Tennis Court - HMA, 3"	393	TONS		

SOUTH MAPLE PARK ALTERNATE BID TOTAL

\$ _____

Unit Price Bid – Dexter Park

Bidders shall provide a Total Price for either the Base Bid, Alternate Bid, or both. The City may elect to award for either the Base bid or the Alternate Bid.

DEXTER PARK IMPROVEMENTS – BASE BID (POST TENSION CONCRETE)

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
1	Site Preparation/Grading	1	LSUM		
2	Tree and Stump Removal	1	LSUM		
3	Accessible Grill	2	EA		
4	Turf Establishment	1	LSUM		
5	Construct 20' x 44' Pavilion and 22' x 46' Concrete Pad	1	LSUM		
6	Sunbolt Table (Model #PPM-SQ-3B)	1	EA		
7	Sidewalk, Conc., Removal	22	SYD		
8	Sidewalk, Conc., 4"	1600	SFT		
9	Solas Ray Lighting (Model #SOPH-06-30K-V)	8	EA		
10	Tulip Tree, 8' Ht. (B&B)	2	EA		
11	Arbervitae, 6' Ht. (B&B)	16	EA		
12	Landscape, #1 cont	42	EA		
13	Seeding, Lowland	940	SYD		
14	Trash Receptacle	1	EA		
15	Bike Bollards	12	EA		
16	Bench (6')	3	EA		
17	HMA, Removal	57	SYD		
18	Aggregate Base, 6 inch 21AA	57	SYD		
19	HMA - 5" Depth	52	TONS		
20	Chain Link Fence - Vinyl Coated Fence - 6'	150	FT		
21	Chain Link Fence - Vinyl Coated Fence - 8'	60	FT		
22	Basketball Court - Post Tension Conc.	5820	SFT		
23	Basketball Goal (Including Post, Net and Backboard) - 8' Ht.	2	EA		
24	Basketball Goal (Including Post, Net and Backboard) - 10' Ht.	2	EA		
25	Basketball Court - Color Coating, Striping	1	LSUM		
26	Sanitary Sewer Tap, 4 inch (to MH #4349)	1	EA		
27	Sanitary Sewer, 4 inch	40	FT		
28	Curb Stop and Box, 1 inch	1	EA		

29	Water Service, Type K Copper, 1/2 inch, Tr Det G	65	FT		
30	Water Main Tap, 12 inch (By City)	1	EA		
31	Drinking Fountain (440 SMFA w/ Pet Fountain)	1	EA		
32	Conc. Curb	31	FT		
33	Curb and Gutter, Rem	31	FT		
34	Traffic Control	1	LSUM		
35	Construction Staking	1	LSUM		
36	Dr Structure, 48 inch Dia.	1	EA		
37	Storm Sewer, RCP CI III, 12 inch, Tr Det A	87	FT		
38	Storm Sewer, RCP CI III, 12 inch, Tr Det B	31	FT		
39	Storm Sewer, Tap, 12 inch	1	EA		
40	Outlet Control Structure, 36 inch	1	EA		
41	SESC Measures (Inlet Protection)	5	EA		
42	SESC Measures (Silt Fence)	620	FT		
43	Tree Protection Fencing	700	FT		
44	Mobilization, Max 10%	1	LSUM		

DEXTER PARK BASE BID TOTAL

\$ _____

DEXTER PARK IMPROVEMENTS – ALTERNATE BID (HMA)

Provide Bid Total using the items noted below in lieu of Item #24 noted in the Base Bid above.

ITEM #	ITEM	ESTIMATED QUANTITY	UNIT	UNIT PRICE	AMOUNT
47	Basketball Court - Aggregate Base, 6"	650	SYD		
48	Basketball Court - HMA, 4.5"	530	TONS		

DEXTER PARK ALTERNATE BID TOTAL

\$ _____

Unit Price Bid Summary

SOUTH MAPLE PARK BASE BID

\$ _____

SOUTH MAPLE PARK ALTERNATE BID

\$ _____

DEXTER PARK BASE BID

\$ _____

DEXTER PARK ALTERNATE BID

\$ _____

SECTION 01 71 23.16
CONSTRUCTION STAKING BY CONTRACTOR

PART 1 - GENERAL

1.01 Work Included

The Contractor is responsible to provide all staking and layout necessary for construction of the project.

1.02 Notifications

In the event that it appears there is an error or contradiction between plan grades, construction stakes, and/or actual conditions, the Contractor shall notify the Owner or Engineer immediately.

PART 2 - PRODUCTS

Not Applicable

PART 3 - EXECUTION

3.01 Requirements

The Contractor is responsible to provide such layout and control work as may be required for construction of the proposed improvements.

The Contractor shall provide workers competent in the layout and control work necessary. The Contractor shall provide the equipment and materials necessary for establishing the necessary control and layout.

Pipelines, 8 inches or larger that are to be laid at a uniform grade, shall be laid using a laser for alignment control.

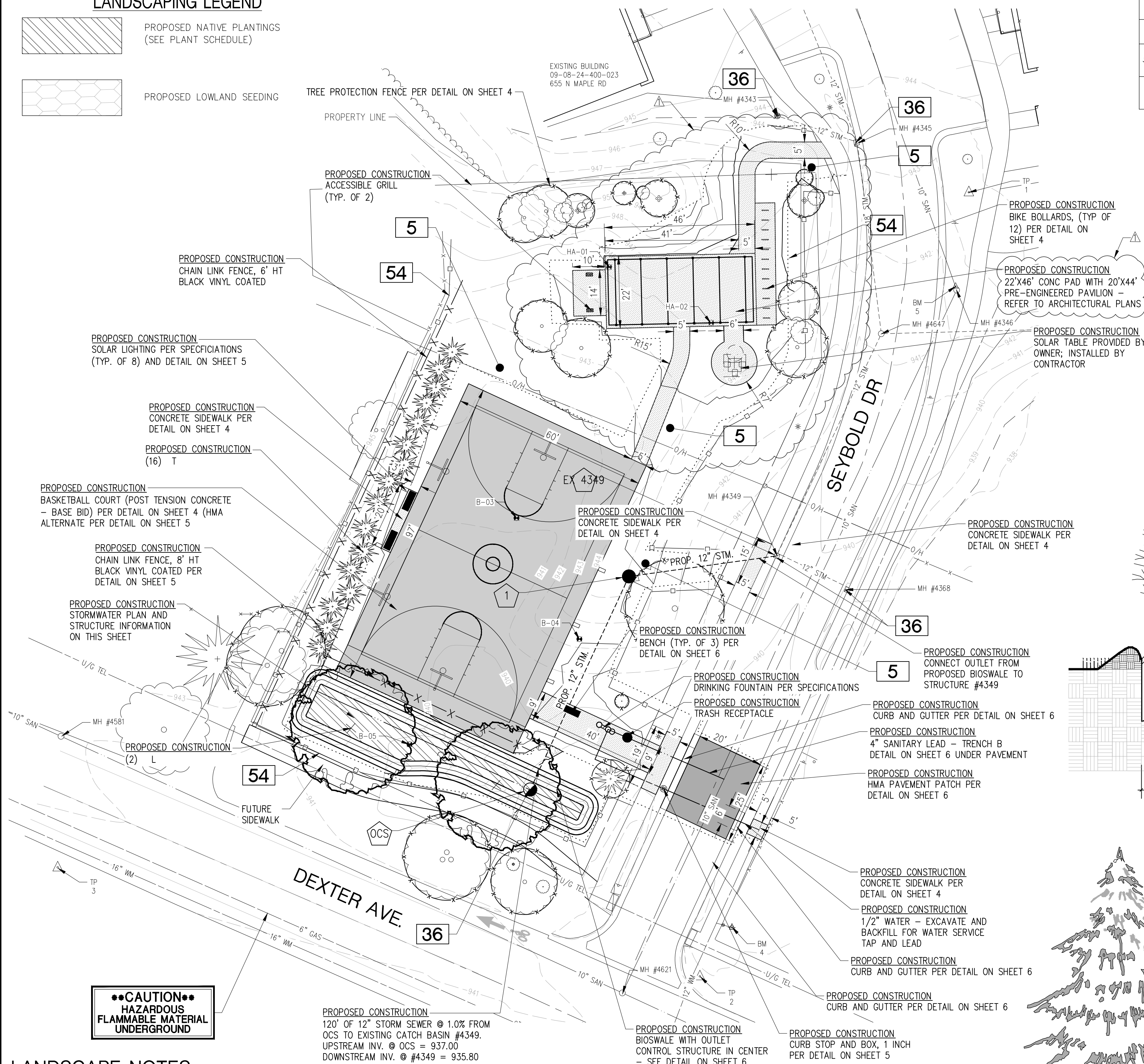
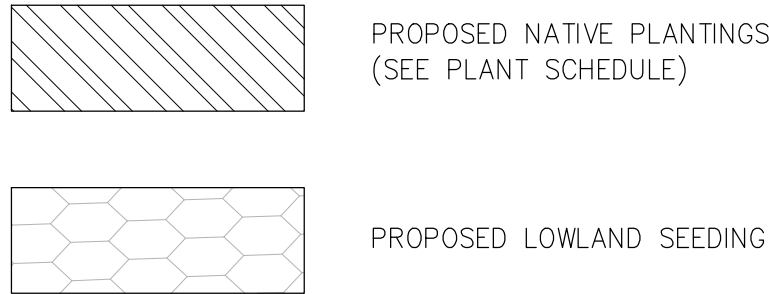
3.02 Plan Grades and Alignment

The horizontal alignment of manholes and drainage structures will be from the center of casting, unless otherwise noted.

Final casting elevation for drainage structures and manholes shall be determined by the Engineer after grading is completed.

END OF SECTION

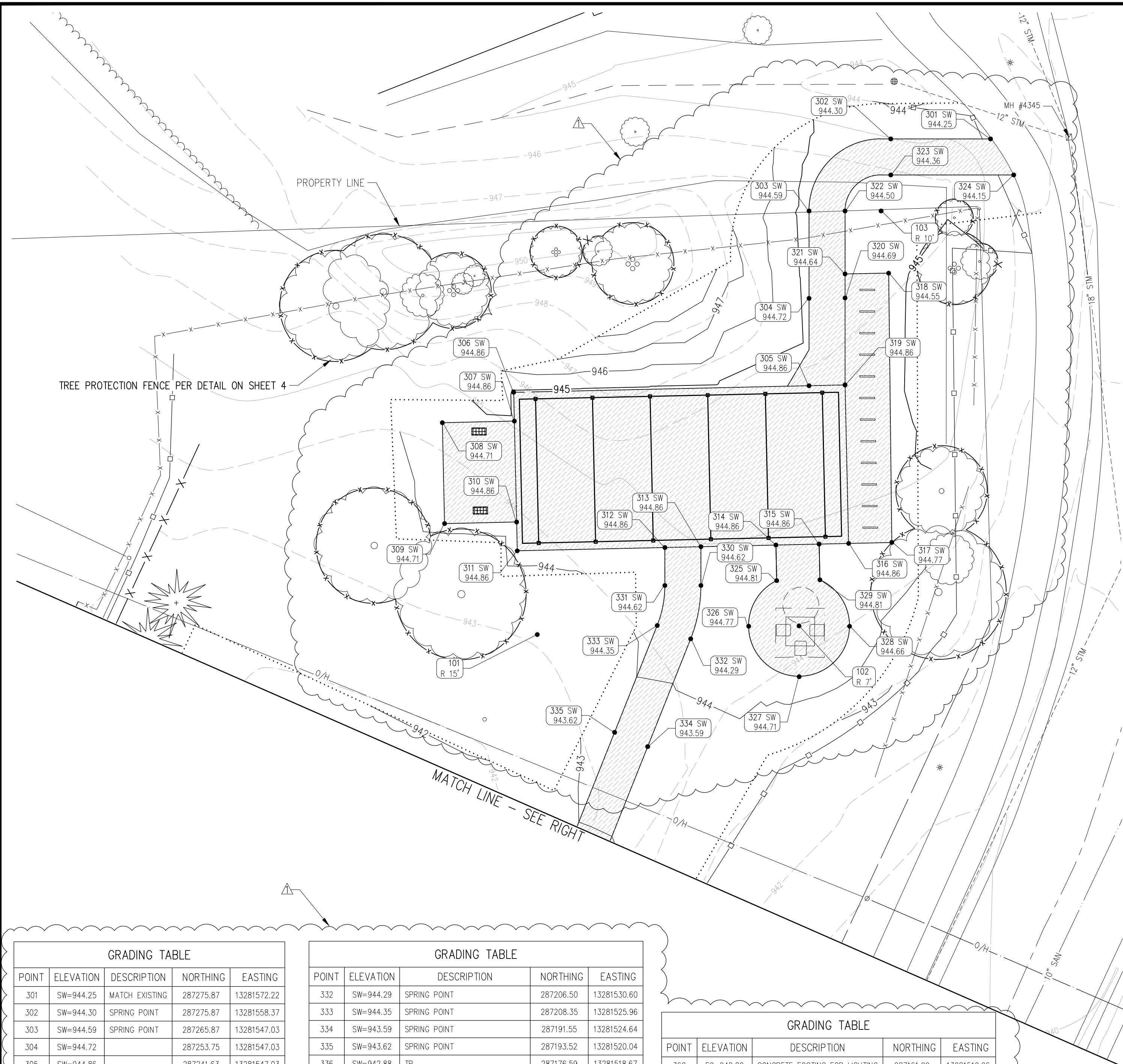
LANDSCAPING LEGEND



LANDSCAPE NOTES:

- ALL LANDSCAPE MATERIALS SHALL BE HEALTHY AT THE TIME OF INSTALLATION.
- CONTRACTOR SHALL SUPPLY FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY A MINIMUM 6" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 3" TOPSOIL (SEED, FERTILIZER AND MULCH PER SPECIFICATIONS) IN ALL LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL TOPSOIL SHALL BE IMPORTED AND SCREENED. EXISTING TOPSOIL MAY ONLY BE REUSED IF APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE DURING AND AT THE END OF THE GUARANTEE PERIOD.
- ALL PLANTINGS SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION.
- ALL EXCESS EXCAVATED MATERIALS AND DEBRIS WHICH ARE NOT ACCEPTED FOR DISPOSAL ON SITE BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF LEGALLY OFF SITE.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL NOT MEETING SPECIFICATIONS.
- THE CONTRACTOR SHALL PLACE 3" OF SHREDDED BARK MULCH AROUND TREES PER DETAILS.

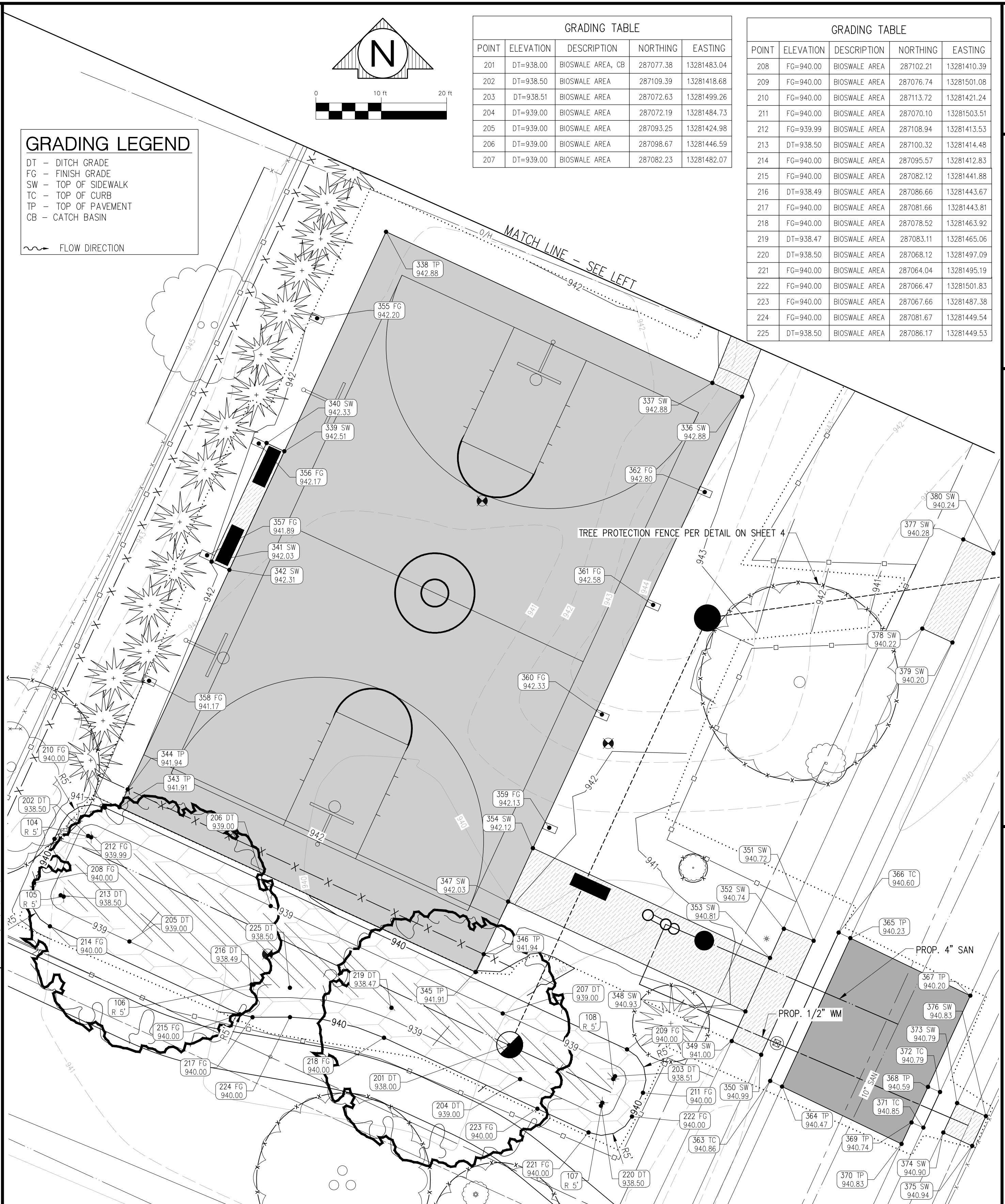
CONSTRUCTION NOTES



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
301	SW=944.25	MATCH EXISTING	287275.87	13281572.22
302	SW=944.30	SPRING POINT	287275.87	13281558.37
303	SW=944.59	SPRING POINT	287265.87	13281547.03
304	SW=944.72		287253.75	13281547.03
305	SW=944.86		287241.63	13281547.03
306	SW=944.86		287240.71	13281506.04
307	SW=944.86		287236.72	13281506.13
308	SW=944.71		287236.49	13281496.14
309	SW=944.71		287222.50	13281496.45
310	SW=944.86		287222.72	13281506.44
311	SW=944.86		287218.72	13281506.53
312	SW=944.86		287219.18	13281527.03
313	SW=944.86		287219.29	13281532.03
314	SW=944.86		287219.52	13281542.43
315	SW=944.86		287219.65	13281548.43
316	SW=944.86		287219.75	13281552.52
317	SW=944.77		287219.88	13281558.52
318	SW=944.55		287257.25	13281558.08
319	SW=944.86		287241.74	13281552.03
320	SW=944.69		287253.81	13281552.03
322	SW=944.50	SPRING POINT	287265.87	13281552.03
323	SW=944.36	SPRING POINT	287270.87	13281558.37
324	SW=944.15	MATCH EXISTING	287270.87	13281575.44
325	SW=944.81	SPRING POINT	287214.58	13281542.54
326	SW=944.77		287208.25	13281538.66
327	SW=944.71		287201.25	13281545.66
328	SW=944.66		287208.25	13281552.66
329	SW=944.81	SPRING POINT	287214.69	13281548.54
330	SW=944.62	SPRING POINT	287213.91	13281532.03
331	SW=944.62	SPRING POINT	287213.91	13281527.03

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
332	SW=944.29	SPRING POINT	287206.50	13281530.60
333	SW=944.35	SPRING POINT	287208.35	13281525.96
334	SW=943.59	SPRING POINT	287191.55	13281524.64
335	SW=943.62	SPRING POINT	287193.52	13281520.04
336	SW=942.88	TP	287176.59	13281518.67
337	SW=942.88	TP	287178.70	13281514.13
338	TP=942.86		287201.81	13281464.23
339	SW=942.51	SEATING AREA	287168.23	13281448.68
340	SW=942.33	SEATING AREA	287169.49	13281445.96
341	SW=942.03	SEATING AREA	287151.35	13281437.55
342	SW=942.31	SEATING AREA	287150.09	13281440.27
343	TP=941.91		287113.79	13281423.46
344	TP=941.94	CHAINLINK FENCE	287116.51	13281424.72
345	TP=941.91		287088.57	13281477.91
346	TP=941.94	CHAINLINK FENCE	287091.30	13281479.17
347	SW=942.03	TP	287099.35	13281482.90
348	SW=940.93		287082.55	13281519.18
349	SW=941.00		287078.01	13281517.09
350	SW=940.99		287075.92	13281521.60
351	SW=940.72		287093.36	13281529.62
352	SW=940.74		287095.19	13281525.07
353	SW=940.81		287090.73	13281522.94
354	SW=942.12	TP	287107.52	13281486.68
355	FG=942.20	CONCRETE FOOTING FOR LIGHTING	287188.58	13281453.69
356	FG=942.17	CONCRETE FOOTING FOR LIGHTING	287169.42	13281444.76
357	FG=941.89	CONCRETE FOOTING FOR LIGHTING	287152.33	13281436.86
358	FG=941.17	CONCRETE FOOTING FOR LIGHTING	287133.12	13281427.99
359	FG=942.13	CONCRETE FOOTING FOR LIGHTING	287110.64	13281489.19
360	FG=942.33	CONCRETE FOOTING FOR LIGHTING	287127.97	13281497.24
361	FG=942.58	CONCRETE FOOTING FOR LIGHTING	287144.73	13281505.07

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
362	FG=942.80	CONCRETE FOOTING FOR LIGHTING	287161.99	13281512.96
363	TC=940.86	MATCH EXISTING	287071.92	13281522.97
364	TP=940.47	MATCH EXISTING	287071.05	13281524.78
365	TP=940.23	MATCH EXISTING	287093.76	13281535.23
366	TC=940.60	MATCH EXISTING	287094.62	13281533.44
367	TP=940.20	MATCH EXISTING	287084.96	13281553.58
368	TP=940.59	MATCH EXISTING	287071.01	13281547.11
369	TP=940.74	MATCH EXISTING	287065.56	13281544.58
370	TP=940.83	MATCH EXISTING	287062.28	13281543.06
371	TC=940.85	MATCH EXISTING	287064.78	13281546.40
372	TC=940.79	MATCH EXISTING	287070.22	13281548.94
373	SW=940.79	REPLACEMENT	287068.53	13281551.56
374	SW=940.90	REPLACEMENT	287064.03	13281549.45
375	SW=940.94	REPLACEMENT	287061.98	13281553.86
376	SW=940.83	REPLACEMENT	287066.52	13281555.96
377	SW=940.28		287154.75	13281552.50
378	SW=940.22		287141.12	13281546.24
379	SW=940.20		287138.99	13281550.84
380	SW=940.24		287152.61	13281557.11



RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
101	15' RADIUS POINT (SW)	287207.10	13281509.32
102	7' RADIUS POINT (SW)	287208.30	13281545.64
103	10' RADIUS POINT (SW)	287265.87	13281557.03
104	5' RADIUS POINT (DT)	287109.18	13281419.13
105	5' RADIUS POINT (DT)	287100.11	13281414.93
106	5' RADIUS POINT (DT)	287086.66	13281443.97

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
107	5' RADIUS POINT (DT)	287068.57	13281497.30
108	5' RADIUS POINT (DT)	287072.20	13281498.98



PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
12/20/2024	ISSUED FOR BIDS
11/14/2025	ADDENDUM #1

REV:

SHEET# 9 OF 12
JOB No: 2300405

PREPARED FOR
**ANN ARBOR PARKS & RECREATION
DEXTER COURT & PAVILION**
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
GRADING SHEET



The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502

O: (810) 341-7500
www.rowepsc.com

PLAN DATE: SEPTEMBER 2025
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 10'

GENERAL ARCHITECTURAL NOTES

1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESS ARE SHOWN NOMINAL - SEE WALL TYPES FOR ACTUAL THICKNESS.
2. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS, CEILINGS AND FLOORS WITH MECHANICAL AND ELECTRICAL. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
3. REFER TO FINISH FLOOR PLAN SCHEDULES FOR ALL FINISHES AND FLOOR TRANSITIONS.
4. ALL CORNERS OF EXPOSED MASONRY BLOCK ARE TO BE BULLNOSE.
5. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
6. ALL WORK SHALL COMPLY WITH NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
7. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO START OF WORK. ALL DIMENSIONS AND FIELD CONDITIONS SHALL BE VERIFIED. AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE RECEIPT OF BIDS. FAILURE OF THE CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO THE AWARD OF BID WILL NOT BE CONSIDERED AS GROUNDS FOR AN EXTRA.
8. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT. PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE WORKERS AND GENERAL PUBLIC DURING CONSTRUCTION.
9. ALL ITEMS SHALL BE AS SPECIFIED BY ARCHITECT AND ENGINEER AND AS APPROVED BY THE OWNER.
10. SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO INSTALLATION/APPLICATION.
11. ALL DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
12. ALL PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING MATERIALS AND CONSTRUCTION TO REMAIN.
13. CONTRACTOR SHALL KEEP NOISE, DUST, ETC., TO A MINIMUM STANDARD AS SET FORTH BY THE OWNER.
14. CONTRACTOR SHALL COORDINATE INSTALLATION AND PHASING OF WORK WITH THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.
15. NOTE ALL DIMENSIONS ARE + / - AND ARE TO BE FIELD VERIFIED
16. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL NEW WORK AS REQUIRED FOR ELECTRICAL MECHANICAL AND STRUCTURAL WITH ARCHITECTURAL IF A CONFLICT IS ENCOUNTERED, REQUEST CLARIFICATIONS FROM THE ARCHITECT. REFER TO ELECTRICAL PLANS FOR LIGHT FIXTURE TYPES, LOCATIONS AND SPECIFICATIONS. REFER TO MECHANICAL PLANS FOR DIFFUSER, REGISTERS AND RETURN GRILLES TYPES, LOCATIONS AND SPECIFICATIONS. REFER TO STRUCTURAL FOR NEW SYSTEMS DETAILS AND SPECIFICATIONS.

WORK SCOPE

PICNIC PAVILIONS:

PROVIDE (1) NEW 46'-0" x 22'-0" CONCRETE PAD PATIO AREA, WITH PRE-ENGINEERED GABLE ROOF PICNIC PAVILION STRUCTURE OF 44'-0" x 20'-0" STANDARD SIZE AND REQUIRED / DETAILED FOUNDATION SYSTEMS.

PROVIDE DEMOLITION AND REMOVAL OF EXISTING SITE VEGETATION, LANDSCAPING, TREES AND SHRUBS AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE NEW CONSTRUCTION GRADING AND SITE LAYOUT AS REQUIRED. PROVIDE NEW CONCRETE SIDEWALK PATIO AND SUB-BASE CONSTRUCTION. PROVIDE NEW PICNIC PAVILION AND FOUNDATIONS. PROVIDE ALL NECESSARY SITE RESTORATION AS REQUIRED IN AREA OF NEW CONSTRUCTION.

CONTRACTOR WILL BE REQUIRED TO LOCATED ALL EXISTING UNDERGROUND UTILITIES BEFORE "CONSTRUCTION LAYOUT AND STAKING", FINAL LOCATION MAY NEED TO BE SHIFTED / ADJUSTED AS REQUIRED FOR PROPOSED NEW CONSTRUCTION. COORDINATE IN FIELD WITH OWNER AND ARCHITECT.

BUILDING CODE INFORMATION

OWNER: CITY OF ANN ARBOR PARKS AND RECREATION DEPARTMENT

PROJECT: DEXTER PARK - OUTDOOR PAVILIONS

ADDRESS: 2570 DEXTER ROAD, ANN ARBOR, MICHIGAN 48103

EXISTING USE: PARKS AND RECREATION FACILITY

GOVERNING CODE:

THESE CONSTRUCTION DOCUMENTS ARE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

BUILDING: 2015 MICHIGAN BUILDING CODE

ACCESSIBILITY: ICC/ANSI A117.1 2009 AND MICHIGAN BARRIER FREE DESIGN LAW , PUBLIC ACT 1 OF 1996 AS AMENDED

GENERAL BUILDING INFORMATION DATA:

THE PROPOSED STRUCTURE IF FOR AN OUTDOOR PICNIC PAVILION, ACCESSORY TO THE NEIGHBORHOOD PARK PROPOSED CONSTRUCTION TYPE: 5-B PER 2015 MBC

CHAPTER 3 USE and OCCUPANCY CLASSIFICATION:

PARKS AND RECREATION (UTILITY USE GROUP "U")

UTILITY AND MISCELLANEOUS USE GROUP "U"

ACCESSORY MISCELLANEOUS STRUCTURE ADJACENT TO ANOTHER BUILDING FUNCTION / OCCUPANCY

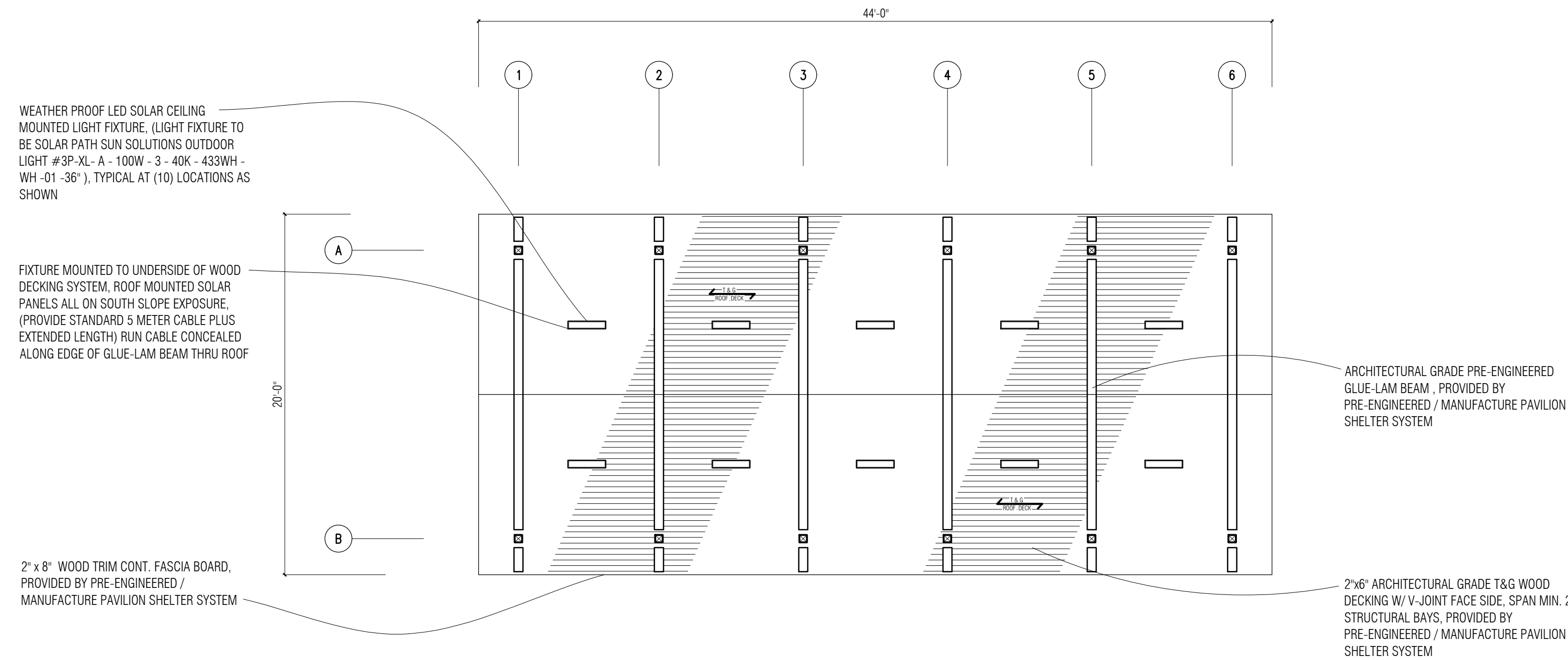
CHAPTER 6 TYPES of CONSTRUCTION:

PER TABLE MBC 601 TYPE 5-B

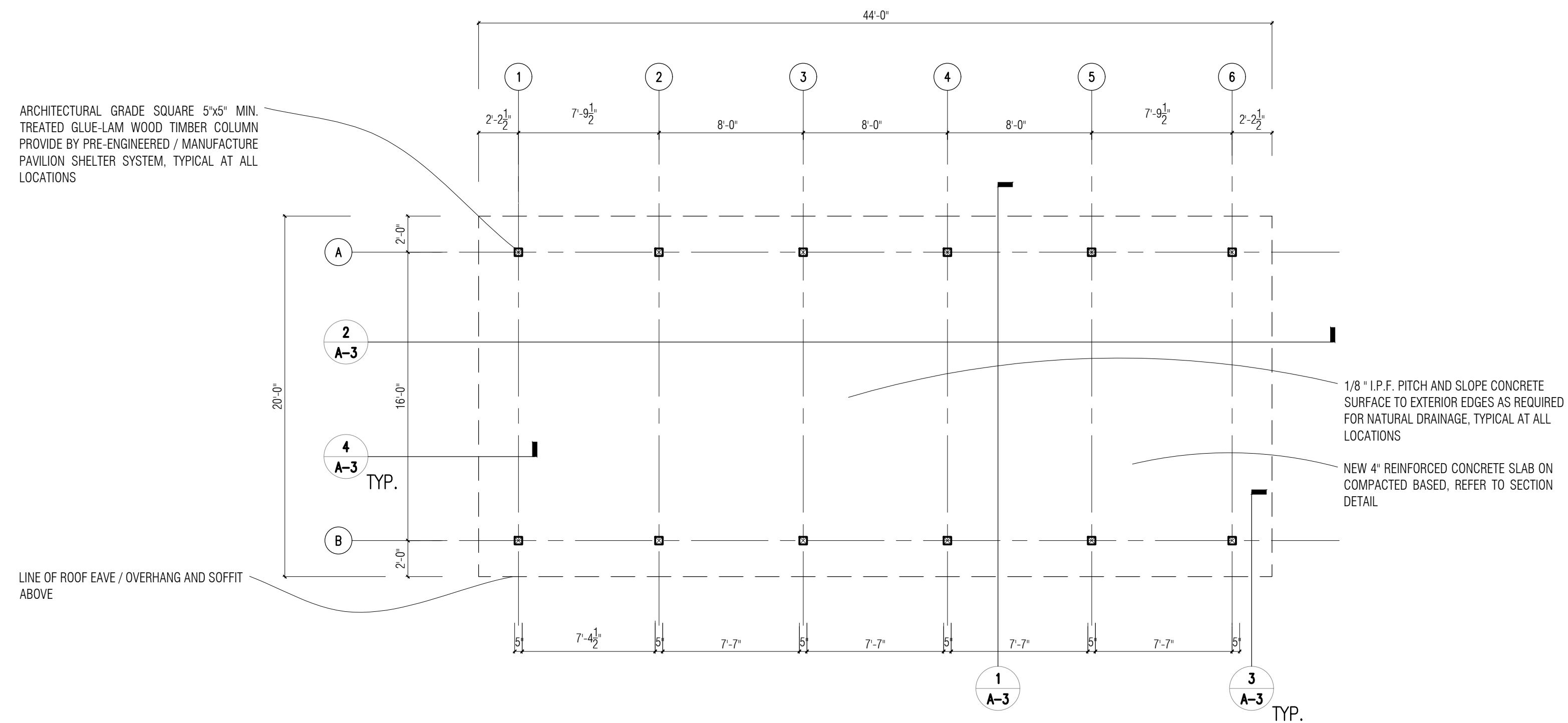
CHAPTER 11 ACCESSIBILITY:

MBC 1101.2 DESIGN

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH 1966 PA 1, MCL125.1351 TO 125.1356, THIS CODE AND ICC/ANSI A 117.1, EXCEPT SECTIONS 611 AND 707



2 Reflected Ceiling Plan
A-1
SCALE : 3/16" = 1'-0"



1 Architectural Floor Plan
A-1
SCALE : 3/16" = 1'-0"

NOTE: ALL DIMENSIONS ARE APPROXIMATE +/- DIMENSIONS. CONTRACTORS WILL BE RESPONSIBLE TO FIELD VERIFY ALL DIMENSIONS AND LOCATIONS.

JFR ARCHITECTS

33668 BARTOLA DRIVE
STERLING HEIGHTS
MI 48312
586.436.0187

jfrarchitects@gmail.com
www.jfrarchitects.com

Statement of Intellectual Property

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*** DO NOT SCALE DRAWINGS ***

ENGINEER:

PROJECT NAME:

ANN ARBOR PARKS and RECREATION
PROPOSED
DEXTER PARK PAVILION
2570 DEXTER ROAD , ANN ARBOR, MI 48103

SCHEMATIC DESIGN
DESIGN DEVELOPMENT
CONSTRUCTION DOC.'S
BIDS & PERMITS
CONSTRUCTION

DRAWN BY: jr
CHECKED BY: JFR

REVISIONS:

SCHEMATIC DESIGN 08/03/23
DESIGN DEVELOPMENT 08/29/23
CONSTRUCTION DOCS. 06/03/24
OWNER REVIEW 07/16/24

DATE: 31 JULY 2023

PROJECT NO.: 23-078

DRAWING NAME:

Floor Plans,
RCP and
Notes

SHEET NO.: A-1

DESIGN SHALL MEET AND/OR EXCEED PROJECT CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ALL APPLICABLE BUILDING CODES.

ALL REQUIRED RELATED STRUCTURAL ENGINEERING DESIGN AND ASSOCIATED MATERIALS ARE TO BE INCLUDED AS PART OF THE PRE-ENGINEERED PAVILION SYSTEM PACKAGE.

ALL CHANGES IN SPECIFIED SIZES AND DETAILS SHALL BE THE RESPONSIBILITY OF THE
PRE-ENGINEERED MANUFACTURER'S RESPONSIBILITY TO INCLUDE ALL COST FOR INTERIOR/EXTERIOR
DESIGN ADJUSTMENTS THAT MAY BE REQUIRED.

APPROVED MANUFACTURERS:

TIMBER SYSTEM, INC., 162 S. SAGINAW ST., LAPEER, MI 48446, 1-810-245-6212
WWW.TIMBERSYSTEMS.COM

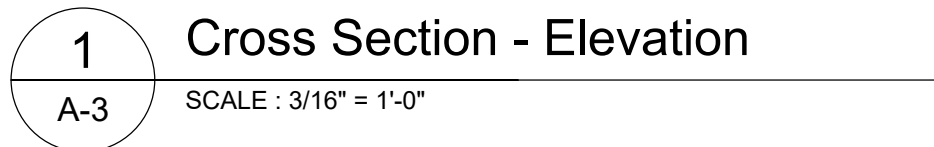
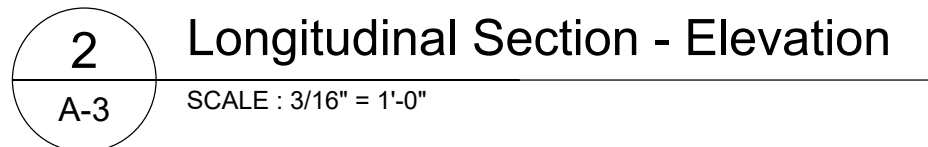
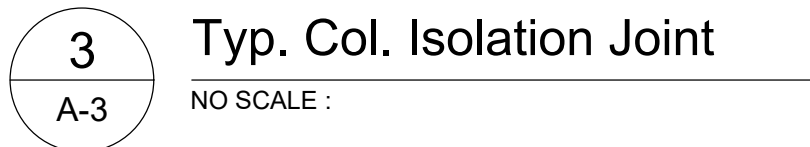
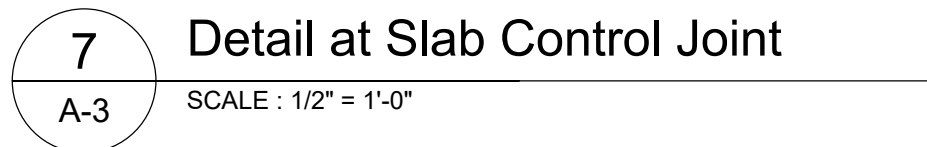
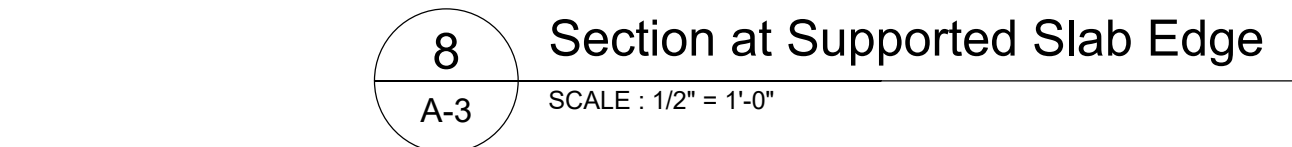
ENWOOD STRUCTURES, 10224 DURANT RD., SUITE 201, RALEIGH, NC 27614, 1-919-518-0461
WWW.ENWOOD.COM

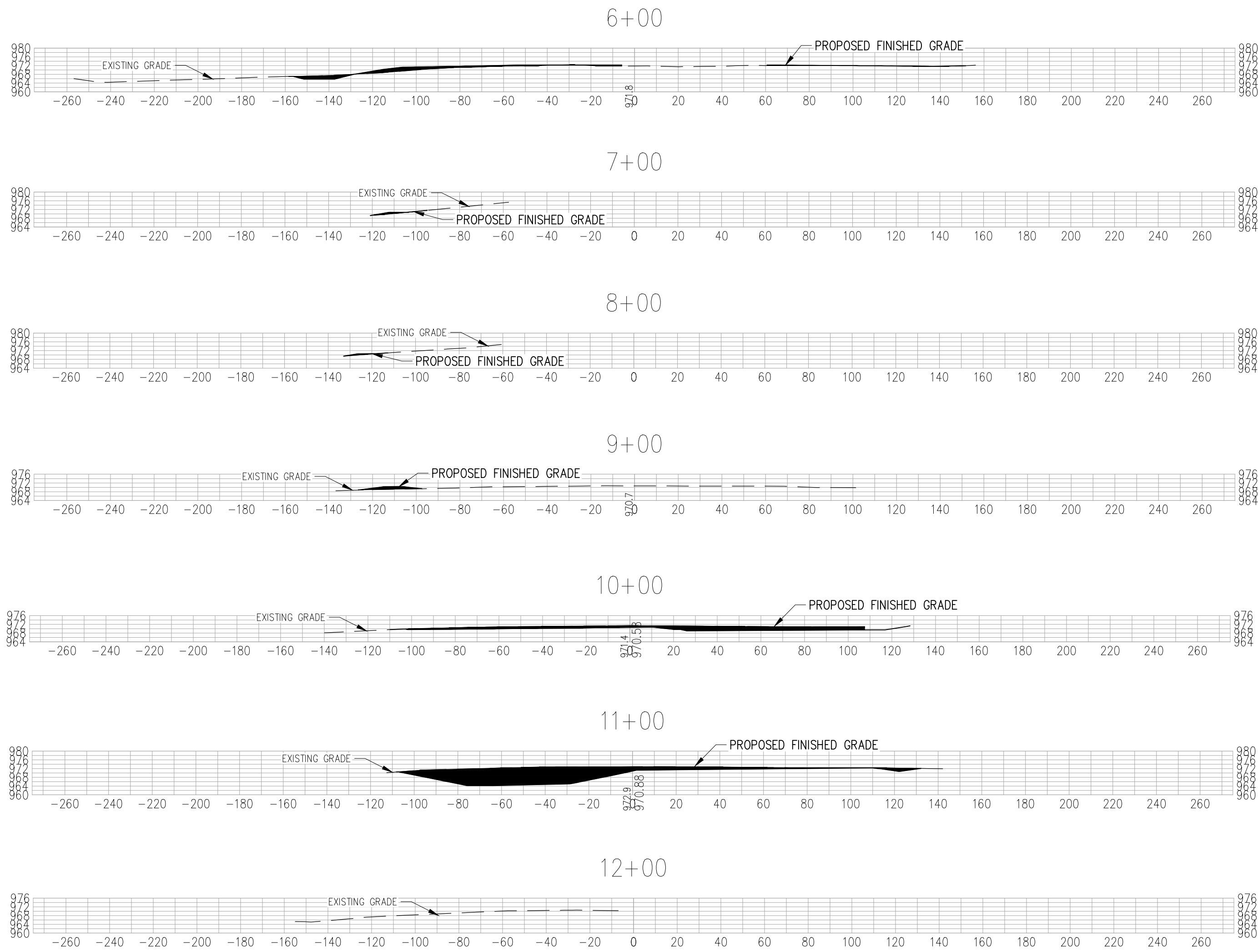
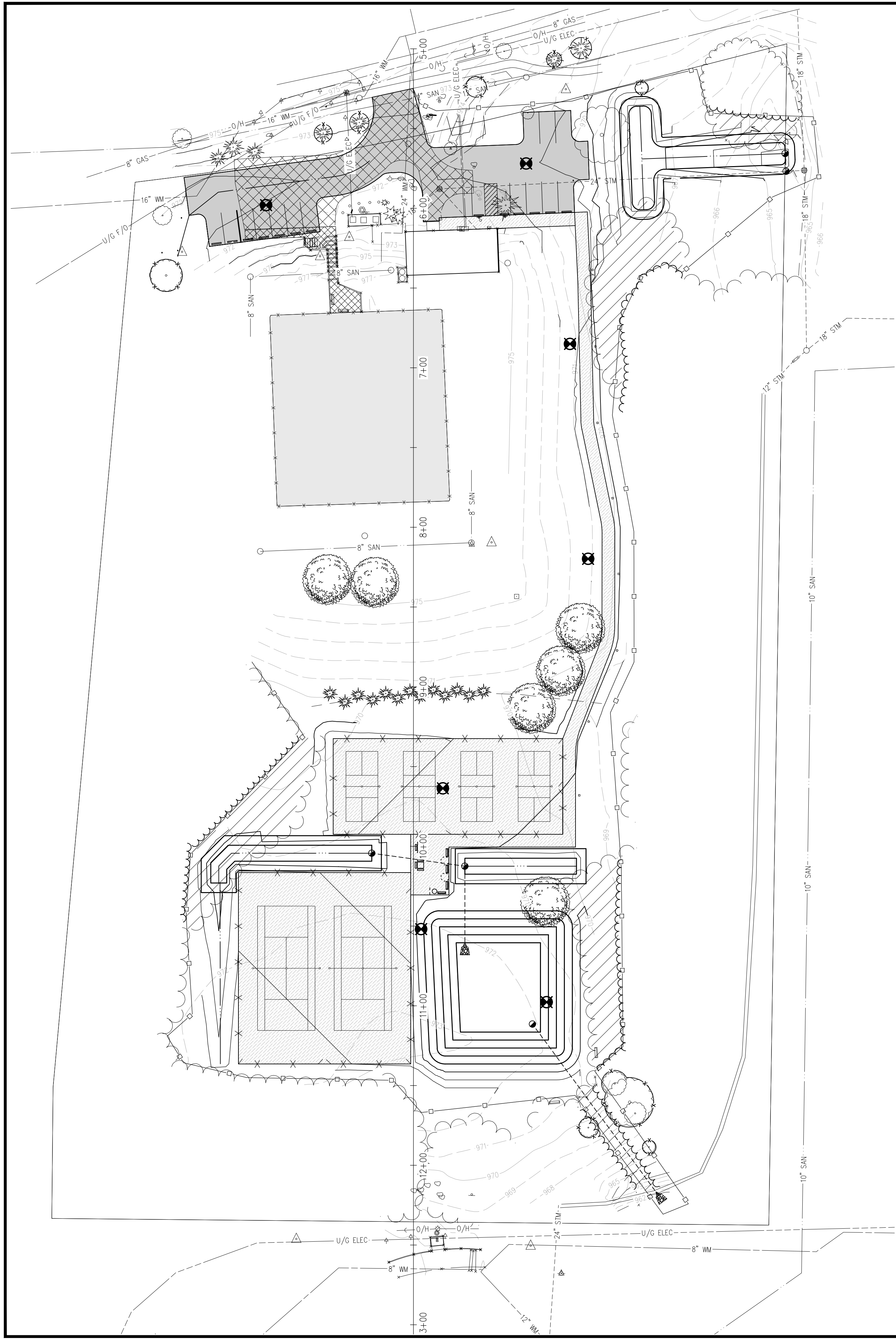
RCP SHELTERS, INC., 2100 SE RAYS WAY, STUART, FL 34994, 1-800-525-3600
WWW.RCPSHelters.COM

LAMINATED SUPPORT COLUMNS
STRUCTURAL GLUE LAMINATED TIMBER SHALL BE IN CONFORMANCE WITH AITC (LATEST EDITION). SPECIES: LAMINATING LUMBER SHALL BE KILN-DRIED PORT ORFORD CEDAR. ALL STRUCTURAL APPEARANCE GRADE. LAMINATED COLUMNS SHALL BE SIZED TO SUIT LOAD REQUIREMENTS. MANUFACTURERS SHALL FURNISH CONNECTION STEEL AND HARDWARE FOR JOINING.
STRUCTURAL GLUE LAMINATED TIMBER MEMBERS TO THEIR SUPPORTS, EXCLUSIVE OF ANCHORAGE AND EMBEDMENT IN MASONRY OR CONCRETE (ANCHOR BOLTS ARE NOT FURNISHED).

ROOF DECKING
2" X 6" (NOMINAL), #1 GRADE, SINGLE TONGUE AND GROOVE WITH V-JOINT ON BOTTOM FACE.
KILN DRIED SOUTHERN YELLOW PINE, MAXIMUM MOISTURE CONTENT SHALL BE 19% OR LESS
SELECTED FOR DECKING. SPECIFIED LENGTHS, WITH ALL JOINTS OVER SUPPORTS.

FASCIA
2X8NOM CEDAR, "D"/ BETTER GRADE, KILN-DRIED, SURFACED ON FOUR SIDES.





TOTAL VOLUME							
STATION	CUT AREA (SF)	FILL AREA (SF)	CUT VOL (CY)	FILL VOL (CY)	CUM CUT VOL (CY)	CUM FILL VOL (CY)	NET VOL (CY)
6+00.00	37.54	83.65	0.00	0.00	0.00	0.00	0.00
7+00.00	0.00	8.09	69.52	169.88	69.52	169.88	-100.36
8+00.00	0.00	5.25	0.00	24.70	69.52	194.58	-125.06
9+00.00	0.00	23.56	0.00	53.36	69.52	247.94	-178.42
10+00.00	259.83	0.00	481.16	43.64	550.69	291.58	259.11
11+00.00	755.84	0.00	1880.87	0.00	2431.56	291.58	2139.98
12+00.00	0.00	0.00	1399.71	0.00	3831.26	291.58	3539.68

OWNER INFORMATION
ANN ARBOR PARKS & RECREATION
HILLARY HANZEL, PARK PLANNER AND LANDSCAPE ARCHITECT
301 E. HURON ST.
ANN ARBOR, MI 48104
PHONE: (734) 794-6230 EXT. 42584
EMAIL: HHANZEL@A2GOV.ORG

NOTE:
FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING THEIR OWN QUANTITIES.

LEGAL DESCRIPTION
PARCEL NUMBER 09-08-25-403-016
LEGAL DESCRIPTION:
PRT SE ¼ SEC 28, T2S, R5E, COM AT SE COR SEC 25 TH N 89 DEG 28 MIN W 661.48 FT FOR POB, TH CONT N 89 DEG 28 MIN W 449.83 FT, TH N 00 DEG 34 MIN E 82.37 FT, TH N 05 DEG 11 MIN 05 SEC E 569.70 FT, TH ALG SLY LINE OF LIBERTY RD 263.26 FT ALG ARC OF 1979.62 FT RAD CIR CURVE TO LT, CENTRAL ANG OF 07 DEG 37 MIN 10 SEC, CHORD N 79 DEG 25 MIN 23 SEC E 263.07 FT, TH N 75 DEG 36 MIN 50 SEC E 155.09 FT TH S 00 DEG 52 MIN 30 SEC 2 740.74 FT TO POB

PARCEL NUMBER 09-08-25-403-017
LEGAL DESCRIPTION:
LOTS 42-55 W LIBERTY HEIGHTS SPLIT/COMBINED ON 03/08/2018 FROM 09-08-25-403-014, 09-08-25-403-015

PROPERTY ADDRESS
2655 W. LIBERTY ST.
ANN ARBOR, MI 48103



PLAN SUBMITTALS AND CHANGES	
PRELIMINARY PLANS - **NOT FOR CONSTRUCTION**	
DATE	DESCRIPTION
###	###
###	###
###	###
###	###
###	###

PLAN DATE: NOVEMBER 2025
PROJECT MGR: D.R.S.
REVIEWER: A.J.W.
SCALE: 1"=40'

ROWE PROFESSIONAL SERVICES COMPANY



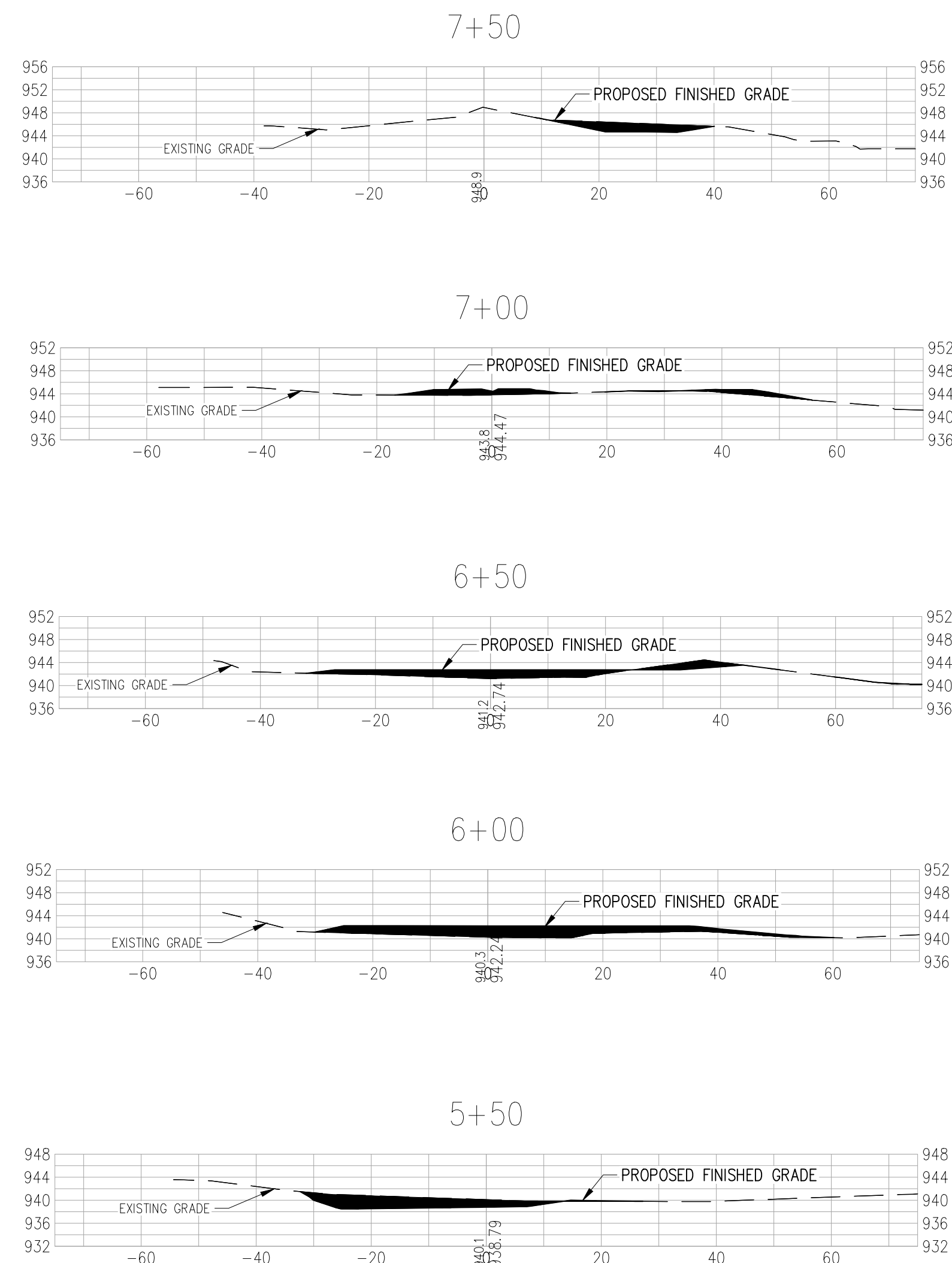
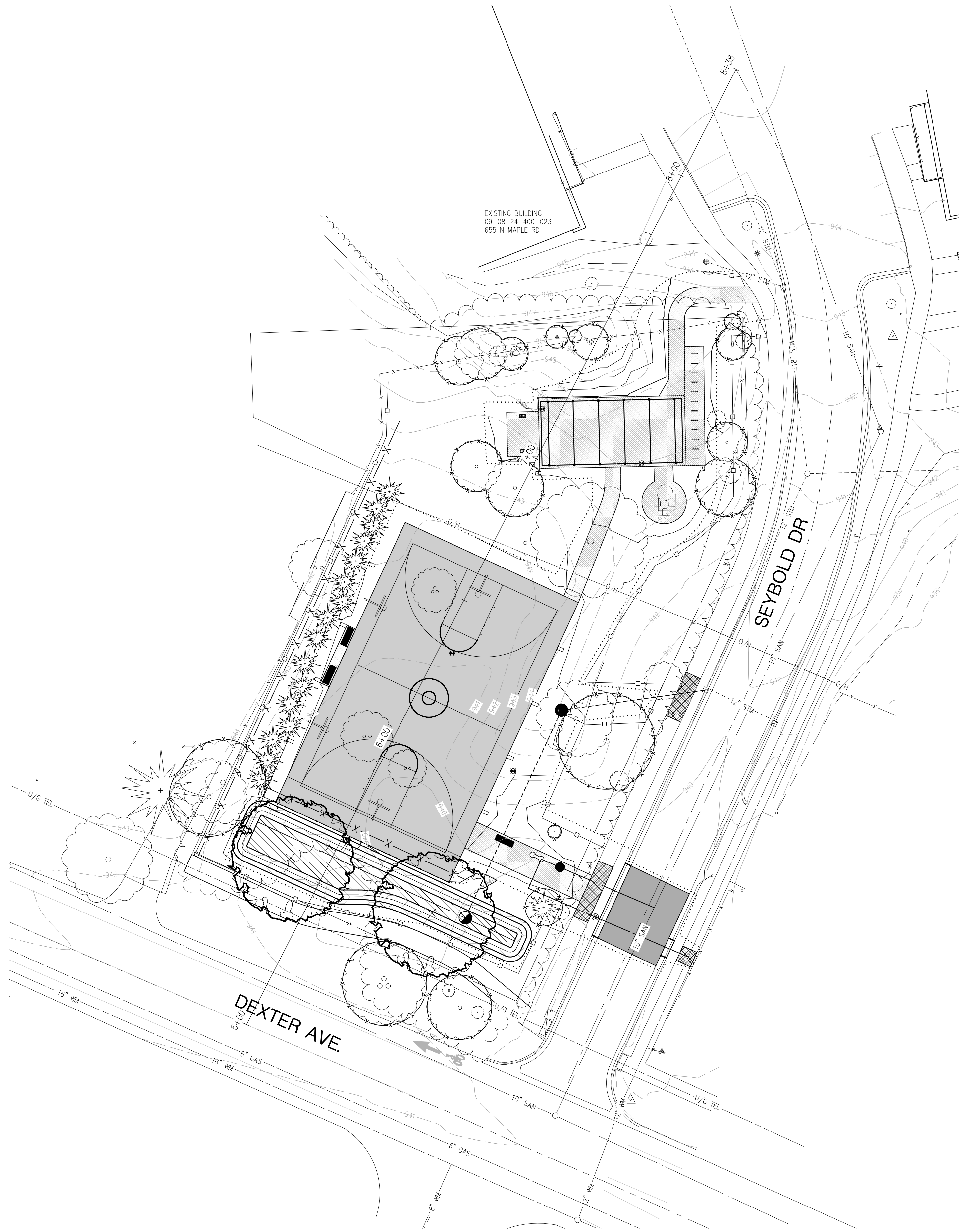
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502

PREPARED FOR

ANN ARBOR PARKS & RECREATION
S MAPLE PARK COURT IMPROVEMENTS
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
CUT/FILL CALCULATIONS

REV:

SHT# 1 OF 1
JOB No: 2300331



TOTAL VOLUME							
STATION	CUT AREA (SF)	FILL AREA (SF)	CUT VOL (CY)	FILL VOL (CY)	CUM CUT VOL (CY)	CUM FILL VOL (CY)	NET VOL (CY)
5+50.00	69.52	1.10	0.00	0.00	0.00	0.00	0.00
6+00.00	0.00	109.52	64.37	102.43	64.37	102.43	-38.06
6+50.00	15.08	59.70	13.96	156.68	78.34	259.11	-180.78
7+00.00	0.84	32.81	14.74	85.66	93.07	344.77	-251.70
7+50.00	31.38	0.05	29.83	30.43	122.90	375.20	-252.30

LEGAL DESCRIPTION

PARCEL NUMBER 09-08-24-421-031
LEGAL DESCRIPTION:
LOT 250 SCIOTO HILLS NUMBER ONE AS RECORDED IN LIBER 8 OF
PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

PARCEL NUMBER 09-08-24-421-032
LEGAL DESCRIPTION:
LOT 251 SCIOTO HILLS NUMBER ONE AS RECORDED IN LIBER 8 OF
PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

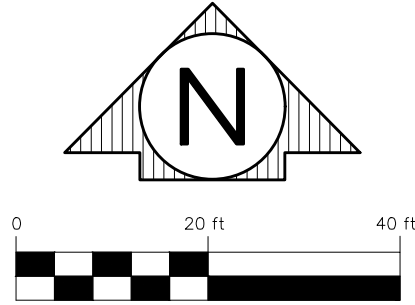
PARCEL NUMBER 09-08-24-421-033
LEGAL DESCRIPTION:
LOT 252 SCIOTO HILLS NUMBER ONE, AS RECORDED IN LIBER 8
OF PLATS, PAGE 30, WASHTENAW COUNTY RECORDS

OWNER INFORMATION

ANN ARBOR PARKS & RECREATION
ADAM FERCHO, PARK PLANNER AND LANDSCAPE ARCHITECT
301 E. HURON ST.
ANN ARBOR, MI. 48104
PHONE: (517) 281-7810
EMAIL: AFERCHO@A2GOV.ORG

SITE INFORMATION

2570 DEXTER AVE.
ANN ARBOR, MI. 48103



PLAN SUBMITTALS AND CHANGES	
PRELIMINARY PLANS - **NOT FOR CONSTRUCTION**	
DATE	DESCRIPTION
###	###
###	###
###	###
###	###
###	###

REV:

SHT# 1 OF 1
JOB No: 2300405

NOTE:
FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING THEIR OWN QUANTITIES.

ROWE PROFESSIONAL SERVICES COMPANY



The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502

PREPARED FOR
ANN ARBOR PARKS & RECREATION
DEXTER COURT & PAVILION
ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
CUT/FILL CALCULATIONS

PLAN DATE: NOVEMBER 2025
PROJECT MGR: D.R.S.
REVIEWER: A.J.W.
SCALE: 1"=20'

O: (810) 341-7500
www.rowepsc.com