

ADDENDUM No. 2

RFP No. 25-30

Election Center Renovations

Due: June 27, 2025 at 2:00 P.M. (local time)

The information contained herein shall take precedence over the original documents and all previous addenda (if any) and is appended thereto. **This Addendum includes five (5) pages.**

The Proposer is to acknowledge receipt of this Addendum No. 2 including all attachments in its Proposal by so indicating in the proposal that the addendum has been received. Proposals submitted without acknowledgement of receipt of this addendum may be considered non-conforming.

The following forms provided within the RFP Document should be included in submitted proposal:

- **Attachment B – General Declarations**
- **Attachment D - City of Ann Arbor Prevailing Wage Declaration of Compliance**
- **Attachment E – City of Ann Arbor Living Wage Declaration of Compliance**
- **Attachment G - Vendor Conflict of Interest Disclosure Form**
- **Attachment H - City of Ann Arbor Non-Discrimination Declaration of Compliance**

Proposals that fail to provide these completed forms listed above upon proposal opening may be rejected as non-responsive and may not be considered for award.

I. CORRECTIONS/ADDITIONS/DELETIONS

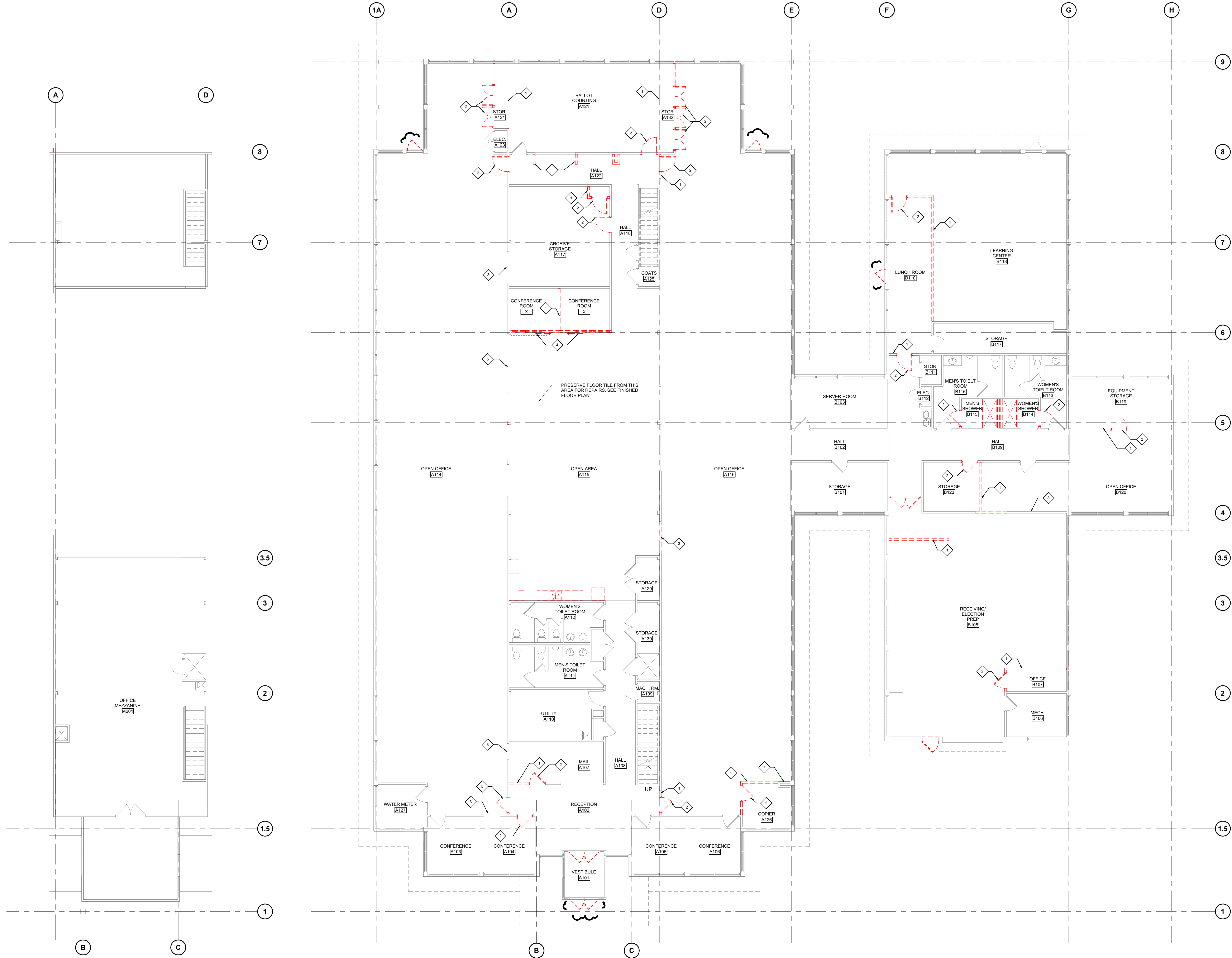
Changes to the RFP documents which are outlined below are referenced to a page or Section in which they appear conspicuously. Offerors are to take note in its review of the documents and include these changes as they may affect work or details in other areas not specifically referenced here.

D R A W I N G S

ARCHITECTURAL

1. Refer to Drawing Sheet AD101 (Re-Issued):
 - a. The contractor should refer to the door schedule for additional information.
2. Refer to Drawing Sheet A-410 (Re-Issued):
 - a. Elevation added.
3. Refer to Drawing Sheet A-601 (Re-Issued):
 - a. Schedule revised.
4. Refer to Drawing Sheet A-602 (Re-Issued):
 - a. Sheet included

Offerors are responsible for any conclusions that they may draw from the information contained in the Addendum.



**PARTIAL MEZZANINE
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"
1/8" = 1'-0"

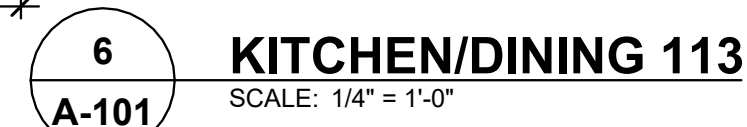
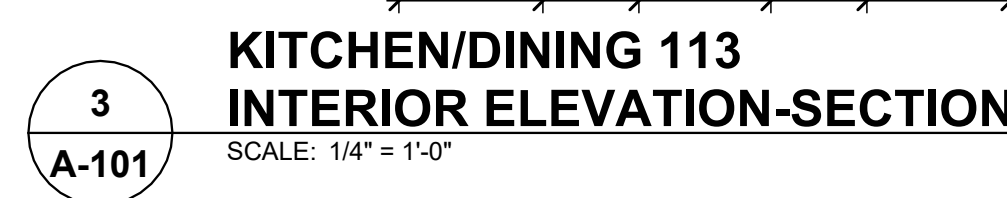
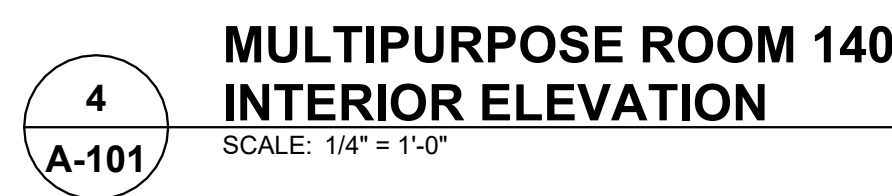
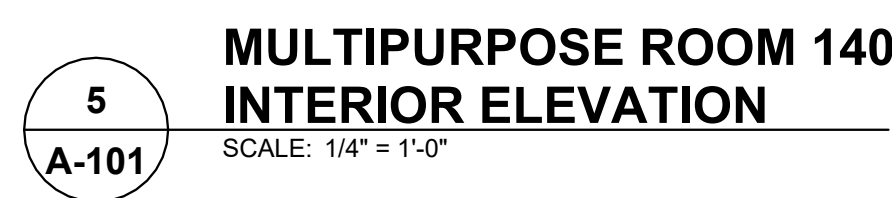
**COMPOSITE FIRST FLOOR
DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"
1/8" = 1'-0"

- GENERAL NOTES**
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF ANY WORK.
 - COORDINATE ALL MECHANICAL AND ELECTRICAL WORK. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS.
 - ALL EXISTING REMAINING CONSTRUCTION SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. REPAIR OF DAMAGED EXISTING FINISHES WILL BE AT CONTRACTORS EXPENSE.
 - CONTRACTORS LOGISTICS AND STAGING PLAN SHALL INCLUDE SPECIFIC DETAIL ON HOW THE WORK AREA WILL BE SECURE AND ADJACENT FINISHED AREA PROTECTED.
 - REFER TO SPECIFICATIONS FOR ITEMS TO BE RECYCLED AND/OR REUSED. COORDINATE WITH OWNER.
 - ALL SPACES ARE TO BE CLEANED AND ANY DAMAGE CAUSED BY THE CONTRACTORS TO BE PATCHED, REPAIRED, AND/OR PAINTED/REPLACE TO MATCH ORIGINAL CONDITION ONCE WORK IS COMPLETED.
 - OWNER SHALL OCCUPY ADJACENT AREA DURING CONSTRUCTION. ALL CONSTRUCTION WORK SHALL NOT DISTURB OWNER OPERATION. ANY WORK WHICH MAY DISTURB OWNER OPERATION IS TO BE COORDINATED PRIOR TO COMMENCEMENT OF WORK. MAINTAIN ALL REQUIRED EGRESS ROUTES FOR DURATION OF CONSTRUCTION.
 - CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION IN ACCORDANCE WITH ALL OSHA REGULATIONS, AS REQUIRED TO PROTECT OWNERS PERSONNEL, GENERAL PUBLIC AND ALL EGRESS ROUTES.
 - PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED PRIOR TO ANY CONSTRUCTION. TEMPORARY SHORING/BRACING SHALL REMAIN IN PLACE UNTIL PERMANENT CONSTRUCTION IS COMPLETE.
 - CONTRACTOR TO COORDINATE WITH OWNER ALL STAGING AND LAY DOWN AREAS FOR CONSTRUCTION MATERIALS, CONTRACTOR PARKING, AND DEMOLITION REMOVAL.
 - CONTRACTOR IS TO MAINTAIN SECURED WORK AREA AND FACILITY AT ALL TIMES DURING THE COURSE OF DEMOLITION AND CONSTRUCTION. CONFIRM TEST REPORTS WITH OWNER PRIOR TO DEMOLITION WORK IF ASBESTOS, LEAD OR OTHER HAZARDOUS MATERIALS HAVE BEEN FOUND WITHIN AREA OF SCOPE. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER.
 - MAINTAIN ALL NECESSARY EGRESS ROUTES AND SITE ACCESS ROUTES THROUGHOUT THE DURATION OF CONSTRUCTION.
 - RESTRIPE PARKING LOT TO ACCOMMODATE EV CHARGER INSTALL.
 - REPAIR LANDSCAPING, SIDEWALK, AND PAVEMENT TO ACCOMMODATE INSTALL OF EV CHARGER AND CONNECTION TO EV CHARGER.

- KEYNOTES**
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY AS INDICATED.
 - EXISTING DOOR, FRAME, HARDWARE, AND THRESHOLD TO BE REMOVED IN ITS ENTIRETY.
 - EXISTING WALL TO BE REMOVED TO ACCOMMODATE INSTALL OF NEW DOOR.
 - EXISTING STOREFRONT WITH SLIDING DOOR, FRAME, HARDWARE, AND THRESHOLD TO BE REMOVED WITH CARE. PRESERVE AND TURN OVER TO OWNER.
 - EXISTING DOOR, HARDWARE TO BE REMOVED AND FLIPPED.
 - EXISTING WALL TO BE REMOVED WITH CARE IN ITS ENTIRETY AS INDICATED. PROTECT EXISTING WOOD BRACE.
 - EXISTING CHASE TO REMAIN MODIFY AND REPAIR TO ACCOMMODATE INSTALL OF NEW PIPING.

DATE	ISSUED FOR
11/08/2024	SCHEMATIC DESIGN
12/05/2024	REVISION
12/13/2024	REVISION
01/06/2025	REVISION
01/24/2025	DESIGN DEVELOPMENT
02/21/2025	REVISION
03/03/2025	FINAL OWNER REVIEW
05/01/2025	IFC
06/11/2025	ADDENDUM 1

Designer:	P. HENDERSON
Modeler:	P. HENDERSON
PM:	B. REED
PIC:	B. REED
ACADFILE:	24-1301-ANN ARBOR ELECTION FACILITY-AR22
Project No.:	24-1301
Sheet Title:	COMPOSITE ARCHITECTURAL DEMOLITION PLANS
Sheet Number:	AD101



KEYNOTES	
NO.	DESCRIPTION
1	PAINTED GYPSUM BOARD, REFER TO ROOM FINISH SCHEDULES.
2	DISPLAY MONITOR, PROVIDE BLOCKING CONCEALED IN EXISTING MONITOR PROVIDER TO NEW DRAWINGS FOR POWER AND DATA CONNECTIONS, REPAIR GYP WALL AND PAINT TO MATCH EXISTING.
3	MONITOR PROVIDER BY OWNER, PRESENTER SCREEN, MONITOR TO BE MOUNTED ON GYP WALL ABOVE MONITOR PROVIDER, CONCEALED IN EXISTING WALL, REFER TO ELECTRICAL DRAWINGS FOR POWER AND DATA CONNECTIONS, REPAIR GYP WALL AND PAINT TO MATCH EXISTING.
4	MONITOR PROVIDER TO NEW, PROVIDE 3" MATCH SLEEVE AND GROMMET IN NEW WALL FOR CABLES.
5	RELOCATE CURTAIN TRACK RELOCATED FROM EXISTING STUD SPACE, MODIFY AS REQUIRED TO FIT NEW SPACE, MOUNT TO NEW SUSPENDED UNITSYSTEM AT 9'-0" AFF.
6	1.58" UNBUILT SUPPORT SYSTEM, CONNECT TO EXISTING STRUCTURE, LAMINATE COUNTERTOP, REFER TO FINISH SCHEDULES.
7	EXISTING PRINTERS, RELOCATED TO NEW SPACE.
8	EXISTING FILING FACILITY.

Designer:	P. HENDERSON
Modeler:	P. HENDERSON
PM:	B. REED
PIC:	B. REED
ACADFILE:	24-1301-ARM ARBOR ELECTION FACILITY-A-R22
Project No.	24-1301
Sheet Title	
<h1>INTERIOR ELEVATIONS</h1>	
Sheet Number	
<h1>A-410</h1>	

