

# REQUEST FOR PROPOSAL

**RFP # 24-11**

## **Design Services for the Election Center Renovation Project**

City of Ann Arbor  
City Administration Area/Fleet & Facilities Services Unit



**Due Date: March 14, 2024 by 3:00 p.m. (local time)**

Issued By:

City of Ann Arbor  
Procurement Unit  
301 E. Huron Street  
Ann Arbor, MI 48104

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## **SECTION I - GENERAL INFORMATION**

### **A. OBJECTIVE**

The City of Ann Arbor is seeking a highly qualified consultant to provide professional architectural-engineering (AE) services for the proposed interior renovation of the City's Election Center located at 3021-3023 Miller Road, Ann Arbor, Michigan.

The City of Ann Arbor ("City") seeks proposals for the programming, planning, design, and construction-phase services for interior renovations to the building to house election related operations and the City's Community Television Network (CTN) operations. The 21,173 sf building was recently purchased by the City and is part of an office condominium development known as Forestcove Office Park that was constructed in 2000. As an office condominium, the City's ownership includes only the building and not the surrounding property. The building is currently being used by the City for limited election related operations.

The City seeks a design team with highly qualified personnel with extensive experience and expertise having previously provided programming, planning, design, and construction-phase services for projects similar in purpose to this project. A special emphasis of the design will be sustainable systems and construction consistent with various City decarbonization goals.

The City invites interested and qualified AE firms desiring to be considered as the designer for this project to submit a proposal identifying their qualifications and costs for providing the services required for this project. Firms considering this request for qualifications are encouraged to thoroughly review this document to familiarize themselves with the instructions, information, procedures, and requirements contained herein. Proposals must be prepared and submitted in accordance with the criteria and procedures established in this request for proposal.

### **B. QUESTIONS AND CLARIFICATIONS / DESIGNATED CITY CONTACTS**

All questions regarding this Request for Proposal (RFP) shall be submitted via e-mail. Questions will be accepted and answered in accordance with the terms and conditions of this RFP.

**All questions shall be submitted on or before February 29, 2024 at 2:00 p.m.,**  
and should be addressed as follows:

Scope of Work/Proposal Content questions shall be e-mailed to Matthew Kulhanek, Fleet & Facilities Manager – [MJKulhanek@a2gov.org](mailto:MJKulhanek@a2gov.org)

RFP Process and Compliance questions shall be e-mailed to Colin Spencer, Buyer  
- [CSpencer@a2gov.org](mailto:CSpencer@a2gov.org)

Should any prospective offeror be in doubt as to the true meaning of any portion of this RFP, or should the prospective offeror find any ambiguity, inconsistency, or omission therein, the prospective offeror shall make a written request for an official interpretation or correction by the due date for questions above.

All interpretations, corrections, or additions to this RFP will be made only as an official addendum that will be posted to a2gov.org and MITN.info and it shall be the prospective offeror's responsibility to ensure they have received all addenda before submitting a proposal. Any addendum issued by the City shall become part of the RFP, and must be incorporated in the proposal where applicable.

### **C. PRE-PROPOSAL MEETING**

No pre-proposal meeting will be held for this RFP. Please contact staff indicated above with general questions regarding the RFP.

### **D. PROPOSAL FORMAT**

To be considered, each firm must submit a response to this RFP using the format provided in Section III. No other distribution of proposals is to be made by the prospective offeror. An official authorized to bind the offeror to its provisions must sign the proposal. Each proposal must remain valid for at least ninety days from the due date of this RFP.

Proposals should be prepared simply and economically providing a straightforward, concise description of the offeror's ability to meet the requirements of the RFP. No erasures are permitted. Mistakes may be crossed out and corrected and must be initialed in ink by the person signing the proposal.

### **E. SELECTION CRITERIA**

Responses to this RFP will be evaluated using a point system as shown in Section III. A selection committee comprised of staff from the City will complete the evaluation.

The fee proposals will not be reviewed at the initial evaluation. After initial evaluation, the City will determine top proposals, and open only those fee proposals. The City will then determine which, if any, firms will be interviewed. During the interviews, the selected firms will be given the opportunity to discuss their proposal, qualifications, past experience, and their fee proposal in more detail. The City further reserves the right to interview the key personnel assigned by the selected offeror to this project. If the City chooses to interview any respondents, the interviews will be tentatively held the **week of April 1, 2024**. Offeror must be available on these dates.

All proposals submitted may be subject to clarifications and further negotiation. All agreements resulting from negotiations that differ from what is represented within the RFP or in the proposal response shall be documented and included as part of the final contract.

## **F. SEALED PROPOSAL SUBMISSION**

**All proposals are due and must be delivered to the City on or before, March 14, 2024 at 3:00 p.m. (local time).** Proposals submitted late or via oral, telephonic, telegraphic, electronic mail or facsimile **will not** be considered or accepted.

**Each respondent must submit in a sealed envelope**

- **one (1) original proposal**
- **four (4) additional proposal copies**
- **one (1) digital copy of the proposal preferably on a USB/flash drive as one file in PDF format**

**Each respondent should submit in a single separate sealed envelope marked Fee Proposal**

- **two (2) copies of the fee proposal**

**The fee proposal and all costs should be separate from the rest of the proposal.**

Proposals submitted should be clearly marked: **“RFP No. 24-11 – Design Services for the Election Center Renovation Project”** and list the offeror’s name and address.

Proposals must be addressed and delivered to:

City of Ann Arbor  
c/o Customer Service  
301 East Huron Street  
Ann Arbor, MI 48104

All proposals received on or before the due date will be publicly opened and recorded on the due date. No immediate decisions will be rendered.

Hand delivered bids may be dropped off in the Purchasing drop box located in the Ann Street (north) vestibule/entrance of City Hall which is open to the public Monday through Friday from 8am to 5pm (except holidays). The City will not be liable to any prospective offeror for any unforeseen circumstances, delivery, or postal delays. Postmarking on the due date will not substitute for receipt of the proposal. Offerors are responsible for submission of their proposal. Additional time will not be granted to a single prospective offeror. However, additional time may be granted to all prospective offerors at the discretion of the City.

**A proposal may be disqualified if the following required forms are not included with the proposal:**

- **Attachment C - City of Ann Arbor Non-Discrimination Declaration of Compliance**
- **Attachment D - City of Ann Arbor Living Wage Declaration of Compliance**
- **Attachment E - Vendor Conflict of Interest Disclosure Form of the RFP Document**

***Proposals that fail to provide these forms listed above upon proposal opening may be deemed non-responsive and may not be considered for award.***

***Please provide the forms outlined above (Attachments C, D and E) within your narrative proposal, not within the separately sealed Fee Proposal envelope.***

***All proposed fees, cost or compensation for the services requested herein should be provided in the separately sealed Fee Proposal envelope only.***

## **G. DISCLOSURES**

Under the Freedom of Information Act (Public Act 442), the City is obligated to permit review of its files, if requested by others. All information in a proposal is subject to disclosure under this provision. This act also provides for a complete disclosure of contracts and attachments thereto.

## **H. TYPE OF CONTRACT**

A sample of the Professional Services Agreement is included as Appendix A. Those who wish to submit a proposal to the City are required to review this sample agreement carefully. **The City will not entertain changes to its Professional Services Agreement.**

The City reserves the right to award the total proposal, to reject any or all proposals in whole or in part, and to waive any informality or technical defects if, in the City's sole judgment, the best interests of the City will be so served.

This RFP and the selected offeror's response thereto, shall constitute the basis of the scope of services in the contract by reference.

## **I. NONDISCRIMINATION**

All offerors proposing to do business with the City shall satisfy the contract compliance administrative policy adopted by the City Administrator in accordance with the Section 9:158 of the Ann Arbor City Code. Breach of the obligation not to discriminate as outlined in Attachment C shall be a material breach of the contract. Contractors are

required to post a copy of Ann Arbor's Non-Discrimination Ordinance attached at all work locations where its employees provide services under a contract with the City.

## **J. WAGE REQUIREMENTS**

The Attachments provided herein outline the requirements for payment of prevailing wages or of a "living wage" to employees providing service to the City under this contract. The successful offeror must comply with all applicable requirements and provide documentary proof of compliance when requested.

## **K. CONFLICT OF INTEREST DISCLOSURE**

The City of Ann Arbor Purchasing Policy requires that the consultant complete a Conflict of Interest Disclosure form. A contract may not be awarded to the selected offeror unless and until the Procurement Unit and the City Administrator have reviewed the Disclosure form and determined that no conflict exists under applicable federal, state, or local law or administrative regulation. Not every relationship or situation disclosed on the Disclosure Form may be a disqualifying conflict. Depending on applicable law and regulations, some contracts may awarded on the recommendation of the City Administrator after full disclosure, where such action is allowed by law, if demonstrated competitive pricing exists and/or it is determined the award is in the best interest of the City. A copy of the Conflict of Interest Disclosure Form is attached.

## **L. COST LIABILITY**

The City of Ann Arbor assumes no responsibility or liability for costs incurred by the offeror prior to the execution of a Professional Services Agreement. The liability of the City is limited to the terms and conditions outlined in the Agreement. By submitting a proposal, offeror agrees to bear all costs incurred or related to the preparation, submission, and selection process for the proposal.

## **M. DEBARMENT**

Submission of a proposal in response to this RFP is certification that the Respondent is not currently debarred, suspended, proposed for debarment, and declared ineligible or voluntarily excluded from participation in this transaction by any State or Federal departments or agency. Submission is also agreement that the City will be notified of any changes in this status.

## **N. PROPOSAL PROTEST**

All protests must be in writing and filed with the Purchasing Agent within 5 business days of any notices of intent, including, but not exclusively, divisions on pre-qualification of bidders, shortlisting of bidders, or a notice of intent to award a contract. Only bidders who responded to the solicitation may file a bid protest. The offeror must

clearly state the reasons for the protest. If an offeror contacts a City Service Area/Unit and indicates a desire to protest an award, the Service Area/Unit shall refer the offeror to the Purchasing Manager. The Purchasing Manager will provide the offeror with the appropriate instructions for filing the protest. The protest shall be reviewed by the City Administrator or designee, whose decision shall be final.

Any inquiries or requests regarding this procurement should be only submitted in writing to the Designated City Contacts provided herein. Attempts by the offeror to initiate contact with anyone other than the Designated City Contacts provided herein that the offeror believes can influence the procurement decision, e.g., Elected Officials, City Administrator, Selection Committee Members, Appointed Committee Members, etc., may lead to immediate elimination from further consideration.

**O. SCHEDULE**

The proposals submitted should define an appropriate schedule in accordance with the requirements of the Proposed Work Plan in Section III.

The following is the schedule for this RFP process.

<b>Activity/Event</b>	<b>Anticipated Date</b>
Written Question Deadline	February 29, 2024, 2:00 p.m.
Addenda Published (if needed)	Week of March 4, 2024
Proposal Due Date	March 14, 2024, 3:00 p.m. (Local Time)
Tentative Interviews (if needed)	Week of April 1, 2024
Selection/Negotiations	April 2024
Expected City Council Authorizations	May 2024

The above schedule is for information purposes only and is subject to change at the City’s discretion.

**P. IRS FORM W-9**

The selected offeror will be required to provide the City of Ann Arbor an IRS form W-9.

**Q. RESERVATION OF RIGHTS**

1. The City reserves the right in its sole and absolute discretion to accept or reject any or all proposals, or alternative proposals, in whole or in part, with or without cause.
2. The City reserves the right to waive, or not waive, informalities or irregularities in of any proposal if determined by the City to be in its best interest.
3. The City reserves the right to request additional information from any or all offerors.
4. The City reserves the right to reject any proposal that it determines to be unresponsive and deficient in any of the information requested within RFP.



5. The City reserves the right to determine whether the scope of the project will be entirely as described in the RFP, a portion of the scope, or a revised scope be implemented.
6. The City reserves the right to select one or more consultants to perform services.
7. The City reserves the right to retain all proposals submitted and to use any ideas in a proposal regardless of whether that proposal is selected. Submission of a proposal indicates acceptance by the firm of the conditions contained in this RFP, unless clearly and specifically noted in the proposal submitted.
8. The City reserves the right to disqualify proposals that fail to respond to any requirements outlined in the RFP, or failure to enclose copies of the required documents outlined within RFP.

## **R. ENVIRONMENTAL COMMITMENT**

The City of Ann Arbor recognizes its responsibility to minimize negative impacts on human health and the environment while supporting a vibrant community and economy. The City further recognizes that the products and services the City buys have inherent environmental and economic impacts and that the City should make procurement decisions that embody, promote, and encourage the City's commitment to the environment.

The City encourages potential vendors to bring forward emerging and progressive products and services that are best suited to the City's environmental principles.

## **SECTION II - SCOPE OF SERVICES**

### **A. Background**

In October 2023, the City of Ann Arbor purchased an office condominium located at 3021-3023 Miller Road, Ann Arbor, for the purpose of enhancing the City's election operations and providing a city owned facility for the City's Community Television Network (CTN) operations. CTN operations are currently provided from rental space located on South Industrial Highway whose lease will expire in 2026. The new office space is 21,173 sf and the building was constructed in 2000 (see original building drawings provided in Attachment A). As an office condominium, the City's ownership includes only the building and not the surrounding property. The City has already transitioned election operations to the new facility for the 2024 election season. The City intends to vacate the building entirely in 2025 to accommodate renovations. The chosen firm will be able to access the building for whatever purposes it needs during 2024, with supervision in security sensitive areas.

The City's Office of Sustainability and Innovation has retained the firm Inclination Engineering to conduct a complete energy audit on the subject property and the completed report, anticipated in April 2024, will be provided to the successful AE firm.

### **B. Objective**

The City of Ann Arbor is seeking proposals from professional architectural-engineering (AE) firms for the planning, design and construction administration services for the interior renovations of the subject location to house City election operations and operations and facilities needed for the City's Community Television Network (CTN) unit. A special emphasis on renovations that improve building efficiencies and meeting the City's decarbonization goals will be required.

### **C. Requirements**

#### **1. Planning Phase**

- a. Include standard professional services for this type of project.
- b. Review drawing and existing conditions.
- c. Meet with representatives from the City Clerk's Office to familiarize design staff with election operations and the needs associated with the subject property.
- d. Meet with representatives from the CTN staff to familiarize design staff with the needs and facility requirements, including studios and related technologies, that will be housed at the subject property.
- e. Meet with representatives from the Office of Sustainability and Innovations to familiarize design staff with the City's goals for sustainability and decarbonization of the subject property.

2. Conceptual Design Phase
  - a. Include standard professional services for this type of project.
  - b. Complete a code analysis to make sure current work is consistent with current codes.
  - c. Produce up to three design concept alternatives for consideration for renovated areas with one round of revisions if necessary.
  - d. Obtain approval of final conceptual drawing from the project team before moving forward on construction drawings.
3. Construction Drawing Phase
  - a. Include standard professional services for this type of project.
  - b. Prepare floor plans, details and elevations with an estimate of probable cost of the proposed changes and approved scope.
  - c. Deliverables for this phase will be a set of Construction Drawings and Specifications for the scope of work ready for bid and permit.
4. Bidding Phase
  - a. Upon completion of the final drawings and specifications, the City will prepare the final bid document and handle advertising and distribution.
  - b. Attend pre-bid meeting.
  - c. Assist in distributing plans and specifications electronically.
  - d. Answer contractor and sub-contractor questions.
  - e. Prepare Addendums if needed.
  - f. Review submitted construction proposals.
5. Construction Administration Phase
  - a. Include standard professional services for this type of contract.
  - b. Review shop drawings and answer contractor requests for information during construction.
  - c. Perform bi-monthly site observations to review construction progress (up to 16 visits).
  - d. Evaluate construction progress and review monthly contractor applications for payment.
  - e. Review and administer punch list to assist the contractor in completing promptly.
  - f. Develop/draft the “as-built” drawings, review and approve the “as-built” plans.
  - g. The “as-built” plans will conform to the City’s Standard Specifications and will be provided to the City on hard drive or other approved media. As-built plans shall be provided within two months of completion of the project.

## **SECTION III - MINIMUM INFORMATION REQUIRED**

### **PROPOSAL FORMAT**

Offerors should organize Proposals into the following Sections:

- A. Professional Qualifications
- B. Past Involvement with Similar Projects
- C. Proposed Work Plan
- D. Fee Proposal (include in a separate sealed envelope clearly marked "Fee Proposal")
- E. Authorized Negotiator
- F. Attachments

The following describes the elements that should be included in each of the proposal sections and the weighted point system that will be used for evaluation of the proposals.

#### **A. Professional Qualifications – 20 points**

1. State the full name and address of your organization and, if applicable, the branch office or other subsidiary element that will perform, or assist in performing, the work hereunder. Indicate whether it operates as an individual, partnership, or corporation. If as a corporation, include whether it is licensed to operate in the State of Michigan.
2. Include the name of executive and professional personnel by skill and qualification that will be employed in the work. Show where these personnel will be physically located during the time they are engaged in the work. Indicate which of these individuals you consider key to the successful completion of the project. Identify only individuals who will do the work on this project by name and title. Resumes and qualifications are required for all proposed project personnel, including all subcontractors. Qualifications and capabilities of any subcontractors must also be included.
3. State history of the firm, in terms of length of existence, types of services provided, etc. Identify the technical details that make the firm uniquely qualified for this work.

#### **B. Past involvement with Similar Projects – 30 points**

The written proposal must include a list of specific experience in the project area and indicate proven ability in implementing similar projects for the firm **and** the individuals to be involved in the project. A complete list of client references must be provided for similar projects recently completed. The list shall include the firm/agency name, address, telephone number, project title, and contact person.

### **C. Proposed Work Plan – 30 points**

Provide a detailed and comprehensive description of how the offeror intends to provide the services requested in this RFP. This description shall include, but not be limited to how the project(s) will be managed and scheduled, how and when data and materials will be delivered to the City, communication and coordination, the working relationship between the offeror and City staff, and the company's general philosophy in regards to providing the requested services.

Offerors shall be evaluated on the clarity, thoroughness, and content of their responses to the above items.

### **D. Fee Proposal - 20 points**

Fee schedules should be submitted in a separate, sealed, envelope as part of the proposal. Fee quotations are to include the names, title, hourly rates, overhead factors, and any other relevant details. The proposal should highlight key staff and positions that would likely be involved with projects. Offerors shall be capable of justifying the details of the fee proposal relative to personnel costs, overhead, how the overhead rate is derived, material and time.

### **E. Authorized Negotiator**

Include the name, phone number, and e-mail address of persons(s) in your organization authorized to negotiate the agreement with the City.

### **F. Attachments**

Legal Status of Offeror, Conflict of Interest Form, Living Wage Compliance Form, and the Non-Discrimination Form should be returned with the proposal. These elements should be included as attachments to the proposal submission.

## **PROPOSAL EVALUATION**

1. The selection committee will evaluate each proposal by the above-described criteria and point system (A through C) to select a short-list of firms for further consideration. The City reserves the right to reject any proposal that it determines to be unresponsive and deficient in any of the information requested for evaluation. A proposal with all the requested information does not guarantee the proposing firm to be a candidate for an interview. The committee may contact references to verify material submitted by the offerors.
2. The committee then will schedule interviews with the selected firms if necessary. The selected firms will be given the opportunity to discuss in more detail their qualifications, past experience, proposed work plan and fee proposal.

3. The interview must include the project team members expected to complete a majority of the work on the project, but no more than six members total. The interview shall consist of a presentation of up to thirty minutes (or the length provided by the committee) by the offeror, including the person who will be the project manager on this contract, followed by approximately thirty minutes of questions and answers. Audiovisual aids may be used during the oral interviews. The committee may record the oral interviews.
4. The firms interviewed will then be re-evaluated by the above criteria (A through D), and adjustments to scoring will be made as appropriate. After evaluation of the proposals, further negotiation with the selected firm may be pursued leading to the award of a contract by City Council, if suitable proposals are received.

The City reserves the right to waive the interview process and evaluate the offerors based on their proposals and fee schedules alone and open fee schedules before or prior to interviews.

The City will determine whether the final scope of the project to be negotiated will be entirely as described in this RFP, a portion of the scope, or a revised scope.

Work to be done under this contract is generally described through the detailed specifications and must be completed fully in accordance with the contract documents.

Any proposal that does not conform fully to these instructions may be rejected.

## **PREPARATION OF PROPOSALS**

Proposals should have no plastic bindings but will not be rejected as non-responsive for being bound. Staples or binder clips are acceptable. Proposals should be printed double sided on recycled paper. Proposals should not be more than 30 sheets (60 sides), not including required attachments and resumes.

Each person signing the proposal certifies that they are a person in the offeror's firm/organization responsible for the decisions regarding the fees being offered in the Proposal and has not and will not participate in any action contrary to the terms of this provision.

## **ADDENDA**

If it becomes necessary to revise any part of the RFP, notice of the addendum will be posted to Michigan Inter-governmental Trade Network (MITN) [www.mitn.info](http://www.mitn.info) and/or the City of Ann Arbor web site [www.A2gov.org](http://www.A2gov.org) for all parties to download.

Each offeror must acknowledge in its proposal all addenda it has received. The failure of an offeror to receive or acknowledge receipt of any addenda shall not relieve the offeror

of the responsibility for complying with the terms thereof. The City will not be bound by oral responses to inquiries or written responses other than official written addenda.

## **SECTION IV - ATTACHMENTS**

Attachment A – Original Building Drawings

Attachment B - Legal Status of Offeror

Attachment C – Non-Discrimination Ordinance Declaration of Compliance Form

Attachment D – Living Wage Declaration of Compliance Form

Attachment E – Vendor Conflict of Interest Disclosure Form

Attachment F – Non-Discrimination Ordinance Poster

Attachment G – Living Wage Ordinance Poster



**ATTACHMENT A  
ORIGINAL BUILDING DRAWINGS**

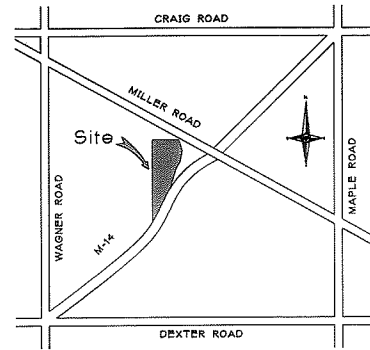
# BUILDING A3/B2 - FORESTCOVE OFFICE PARK

## ANN ARBOR, MICHIGAN

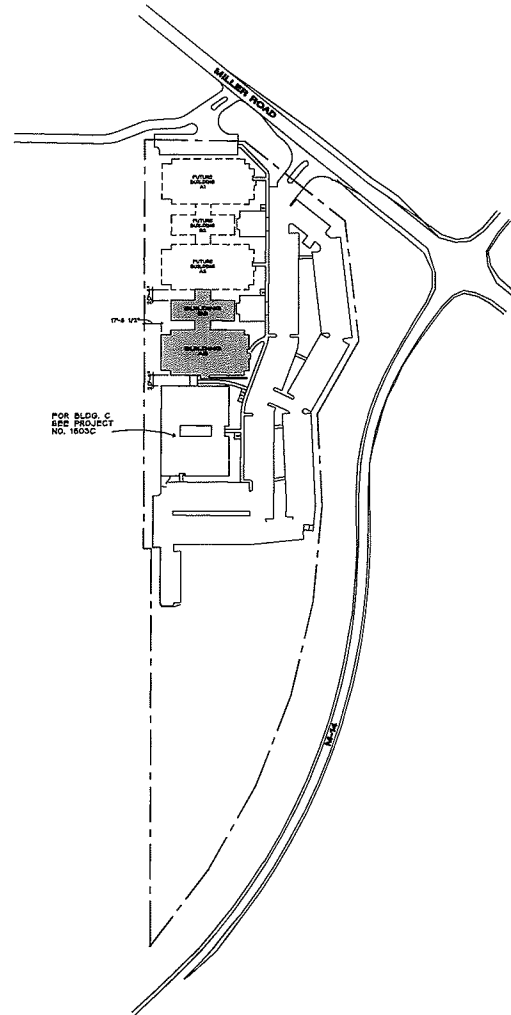


SIEGAL / TUOMALA ASSOCIATES ARCHITECTS & PLANNERS INC. SUITE 261-31731 NORTHWESTERN HWY. FARMINGTON HILLS, MICHIGAN 48335 248/851-3325

1603  
ISSUED DATE  
FOUNDATIONS & FRAMING  
OWNERS LEASE  
GENERAL BIDS  
FEB. 11, 98  
MAR. 05, 98  
MAR. 17, 98



**SITE LOCATION MAP**  
NOT TO SCALE



**LOCATION PLAN**  
NOT TO SCALE

**FORESTCOVE BUILDING A/B**  
**CODE COMPLIANCE**

BUILDING CODE:	BOCA 1985
CONSTRUCTION TYPE:	5B
USE GROUP:	5
NUMBER OF STORIES:	ONE STORY W/2 MEZZANINES
FULLY SPRINKLERED:	YES (INCLUDING TRUSS SPACE)
FLOOR AREA:	FIRST FLOOR 15,611 SF
	STORAGE MEZZANINE 739 SF
	OFFICE MEZZANINE 1,823 SF
	21,173 SF ACTUAL
BUILDING AREA LIMITATIONS (TABLE 503):	7200 SF
TABULAR AREA	14,400 SF
SPRINKLER MODIFICATION (SEC. 506)	21,600 SF PERMITTED
2 x 7200 SF	
MEZZANINES (PER SEC. 505):	739 SF
AREA LIMITATION	1,823 SF
MEZZANINE AREA:	2,562 SF
MIN. PERMITTED ROOM CONTAINING MEZZANINES	2562 SF x 3 = 7686 SF
FIRST FLOOR CONNECTED- PARTIAL HRT. PARTITION	
WALL SEPARATING SPACES-	
OFFICE A114	3604
OPEN AREA A115	1890
OFFICE A116	3658
	8152 SF (7686 SF)
EGRESS:	EACH MEZZANINE COMPLIES WITH TABLE 1017.2
	ONE EXIT REQUIRED
OPENNESS:	
STORAGE MEZZ. - 739 SF @ 300 SF/OCCUP. =	2 OCCUPANTS
OFFICE MEZZ. - 821 SF @ 100 SF/OCCUP. =	MEZZANINE CLOSED 8 OCCUPANTS
	TO OCCUPANTS
	DOES NOT EXCEED 10 PERMITTED

EXTERIOR WALLS (PER SEC. 705):

TABLE 705.2- EXTERIOR WALL FIRE RESISTANCE RATING:  
5 USE GROUP - 10' SEPARATION - 0 HR. RATING

TABLE 705.3- MAXIMUM AREA OF EXTERIOR WALL OPENINGS:  
SEPARATION DISTANCE TO ADJACENT BUILDINGS -  
GREATER THAN 10' TO 15' = 45% OPENING ALLOWABLE  
(PER SEC. 705.3.1 FOR FULLY SPRINKLERED)

ACTUAL BAY SIZE BETWEEN BUILDINGS:  
OPENING: 9'-0" WIDE - 18" POST & 3" MULLION  
x 8'-0" WIDE OPENING  
x 4'-0" HIGH OPENING = 32 SF OPNG

TOTAL BAY: 9'-0" WIDE x 9'-4" HIGH MIN (GRADE TO SOFFIT) = 84 SF OPNG  
32 SF/84 SF = 38% OPNG  
38% OPNG < 45% MAX OPNG ALLOWABLE

OCCUPANCY: 21,173 SF @ 100 SF/OCCUP. = 212 OCCUPANTS MIN.

REQUIRED EXITING: 212 OCCUP. x 15'/OCCUP. = 32" MIN.

PROVIDED EXITS:

A01/A02	36"
A20	35"
A23	35"
B04	35"
B10	35"
B11	35"
B18	35"
	245"

REQUIRED PLUMBING FIXTURES:

212 OCCUPANTS-	REQUIRED FIXT.	WC	URINALS	LAV.
106 MALES-	PROVIDED FIXT.	4	1	3
106 FEMALES-	REQUIRED FIXT.	5	2	5
	PROVIDED FIXT.	5	5	5

**DRAWING LIST**

**TITLE SHEET**

**ARCHITECTURAL**

- A-1 FLOOR PLAN
- A-2 REFLECTED CEILING PLAN
- A-3 BUILDING ELEVATIONS
- A-4 BUILDING ELEVATIONS & SECTIONS
- A-5 BUILDING SECTIONS & ROOF PLAN
- A-6 ROOM FINISH & DOOR SCHEDULES
- A-7 ENLARGED PLANS & INTERIOR ELEVATIONS
- A-8 WALL SECTIONS & DETAILS
- A-9 WALL SECTIONS & DETAILS
- A-10 WALL SECTIONS & DETAILS
- A-11 S.E.D. & STAIR SECTIONS

**STRUCTURAL**

- S-1 FOUNDATION PLAN
- S-2 MEZZANINE FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 SECTION, DETAILS, & NOTES

**MECHANICAL**

- M-1 ELECTRICAL SITE PLAN
- M-2 FLOOR PLANS- LIGHTING
- M-3 FLOOR PLANS-POWER
- M-4 VOICE/ DATA RACEWAYS & OUTLETS
- M-5 COMMUNICATION SYSTEM CABLING REQUIREMENTS
- M-6 ELECTRICAL RISER DIAGRAM AND SCHEDULES

**ELECTRICAL**

- SE-1 ELECTRICAL SITE PLAN
- E-1 FLOOR PLANS- LIGHTING
- E-2 FLOOR PLANS-POWER
- E-3 VOICE/ DATA RACEWAYS & OUTLETS
- E-4 COMMUNICATION SYSTEM CABLING REQUIREMENTS (ISSUED FOR OWNERS USE ONLY)
- E-5 ELECTRICAL RISER DIAGRAM AND SCHEDULES

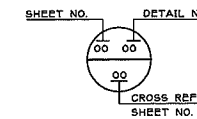
**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO ANY WORK.
3. ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ASSIGNMENT, INTERFACING AND COORDINATION OF THE WORK OF ALL TRADES.
5. PROVIDE ALL FIRE/DRAFTSTOPPING IN STRICT ACCORDANCE WITH B.O.C.A. CODE.

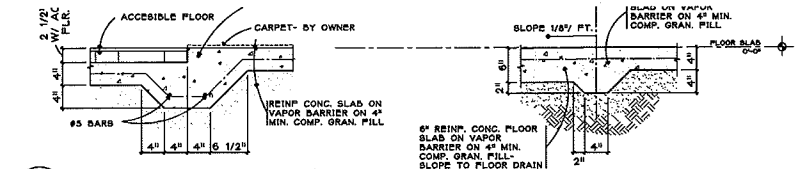
**KEY TO DIMENSIONING**

DRAWINGS ARE BASED ON A 'NOMINAL' DIMENSIONING SYSTEM. ON SMALL SCALE DRAWINGS ALL DIMENSIONS ARE BASED ON THE NOMINAL SIZE OF CONSTRUCTION MATERIALS AND DO NOT TAKE FURRING OR APPLIED FINISH THICKNESSES INTO ACCOUNT. LARGE SCALE DETAILS ARE DRAWN WITH ALL CONSTRUCTION MATERIALS IN TRUE SCALE.

**SECTION AND DETAIL KEY**

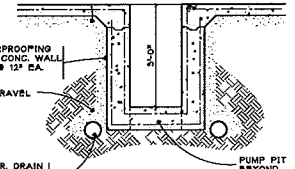


ISSUED DATE  
FOUNDATIONS & FRAMING  
OWNERS LEASE  
GENERAL BIDS  
FEB. 11, 98  
MAR. 05, 98  
MAR. 17, 98



102 ACCESSIBLE FLOOR  
SCALE: 1/4" = 1'-0"

101 SCALE: 1/4" = 1'-0"



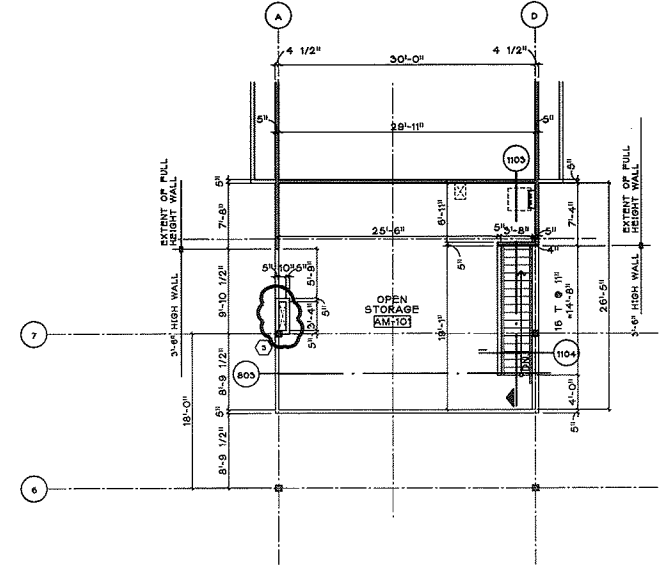
103 SCALE: 1/2" = 1'-0"

**WALL NOTES:**

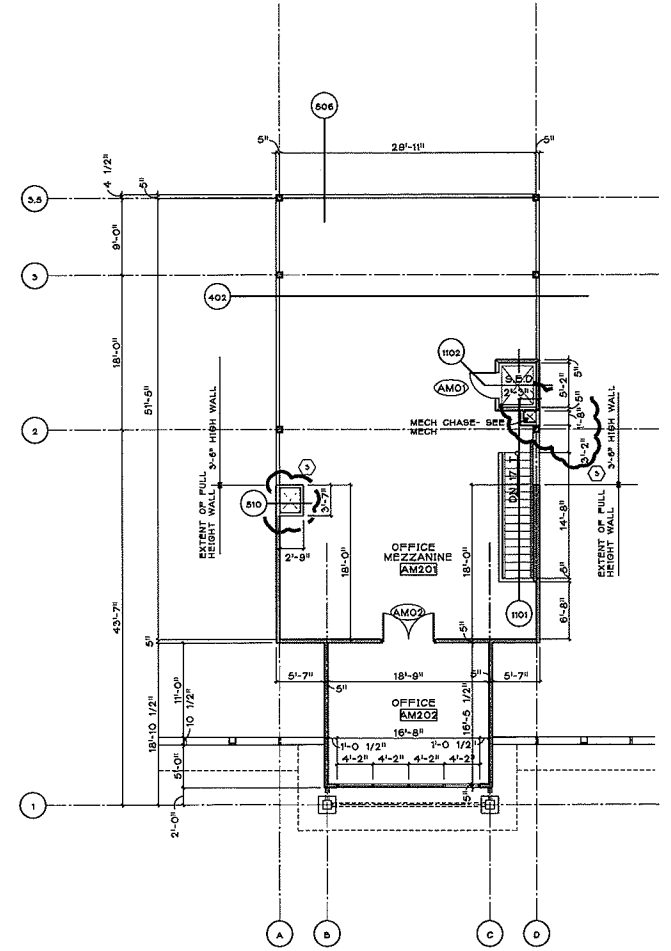
5" WALL (NOMINAL)	5/8" GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C.	(4 3/4" ACTUAL)
5" WALL (NOMINAL) (2 HR. RATED)	5/8" FIRE RESISTANT GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C. PER U.L. NO. U-305	(4 3/4" ACTUAL)
6" WALL (NOMINAL) (2 HR. RATED)	2 LAYERS FIRE RESISTANT GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C. PER U.L. NO. U-301	(6" ACTUAL)
7" WALL (NOMINAL)	1/2" GYPSUM BOARD EACH SIDE OF 2x6 WOOD STUDS AT 24" O.C.	(6 1/2" ACTUAL)

**GENERAL NOTES:**

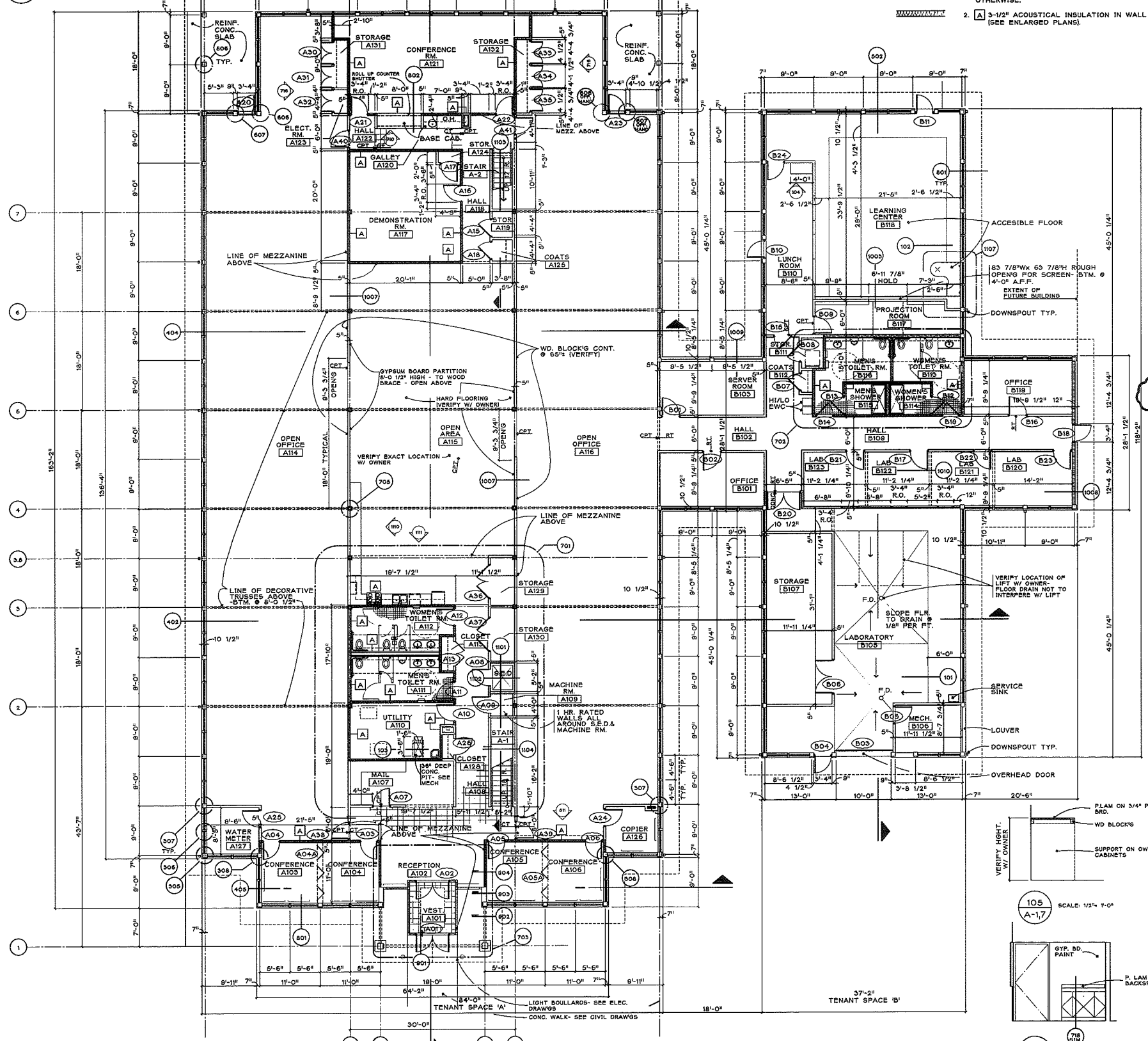
- EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF STRUCTURE ABOVE UNLESS INDICATED OTHERWISE.
- 3-1/2" ACOUSTICAL INSULATION IN WALL (SEE ENLARGED PLANS).



WEST MEZZANINE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



EAST MEZZANINE FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FLOOR PLAN  
SCALE: 1/8" = 1'-0"

104 SCALE: 1/4" = 1'-0"

105 SCALE: 1/2" = 1'-0"

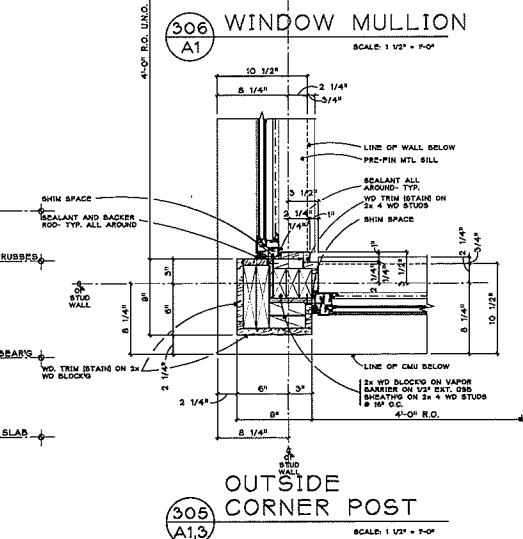
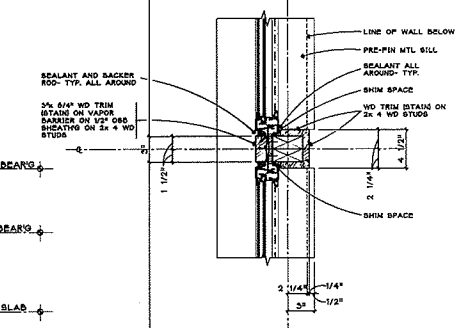
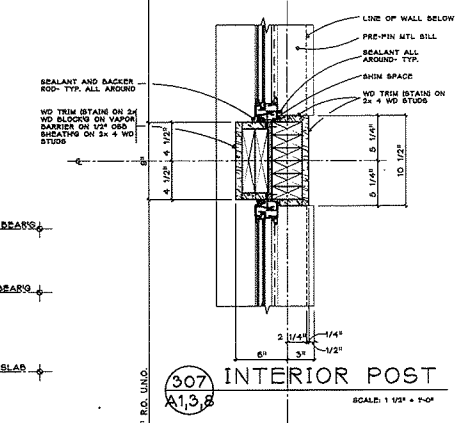
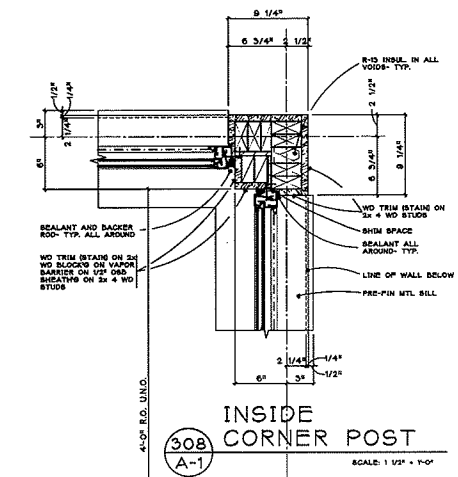
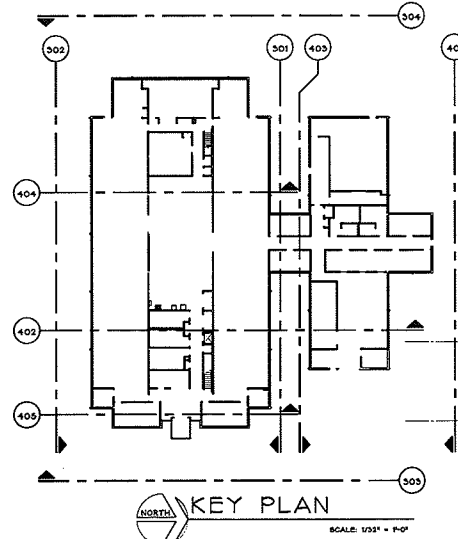
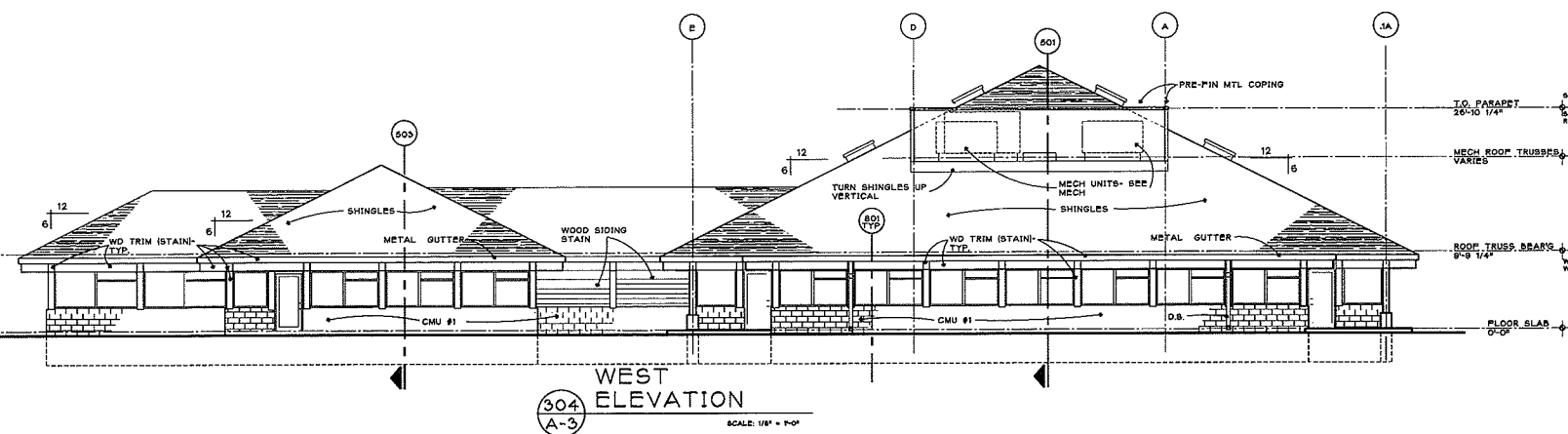
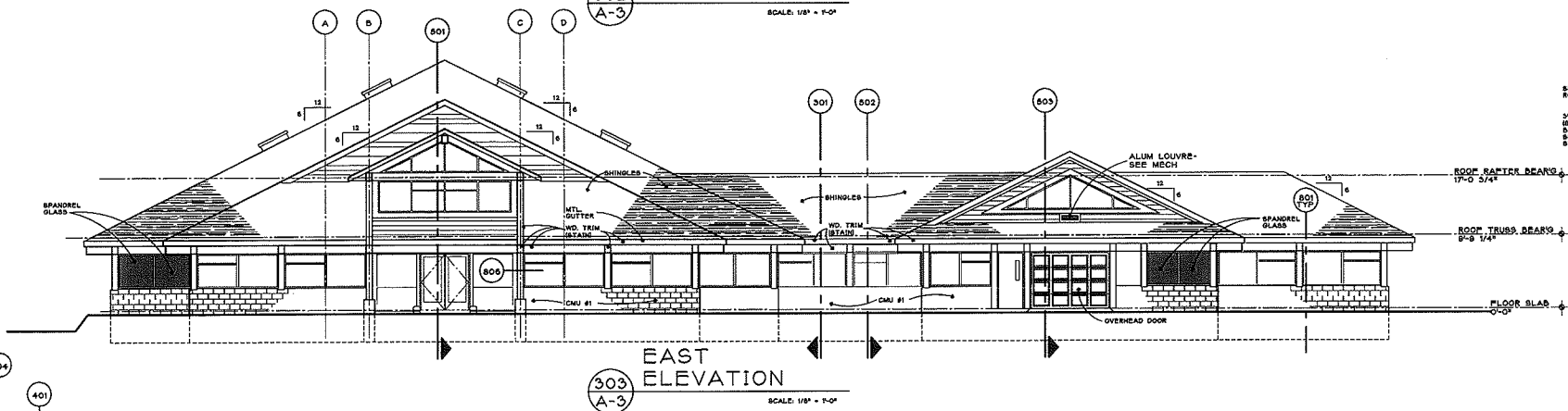
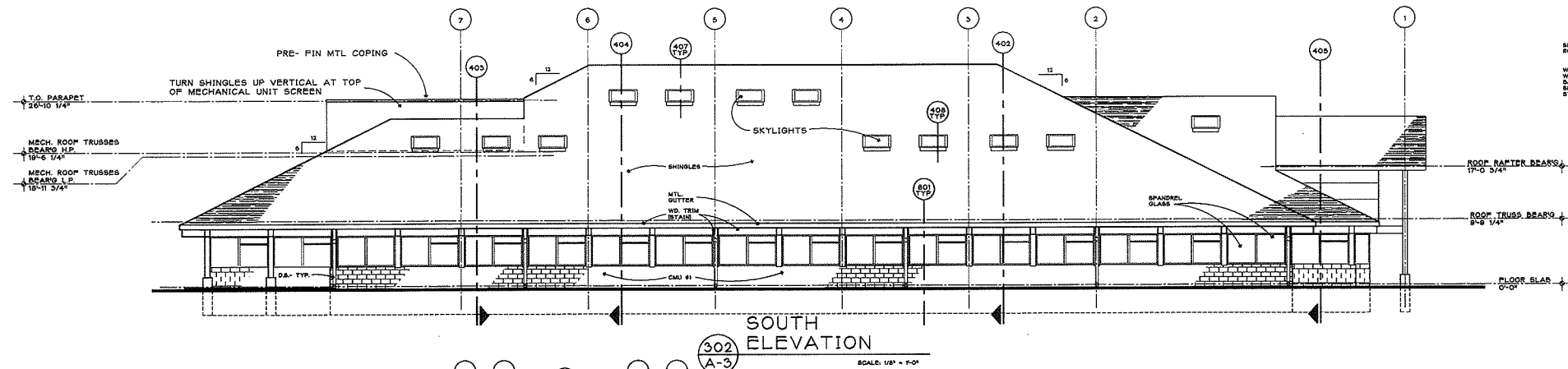
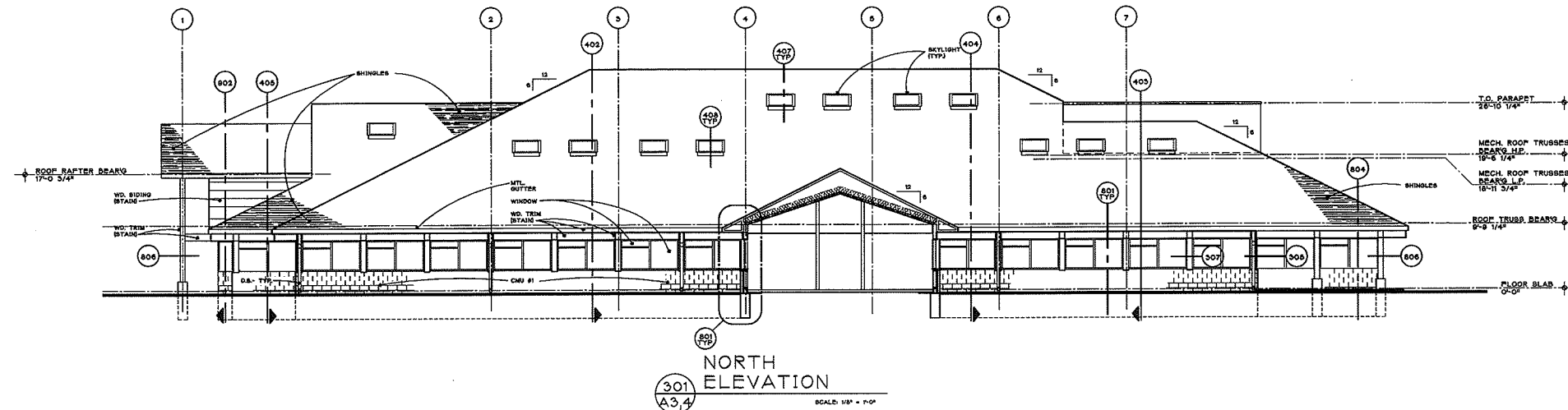
**FLOOR PLAN**  
PROJECT NO. 1603  
SHEET NO. A-1  
DATE: 03/20/03  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN  
APPROVED BY: J. B. BROWN

PROJECT NAME: FORESTCOVE OFFICE PARK  
PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO. 1603  
SHEET NO. A-1  
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SUITE 201 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325





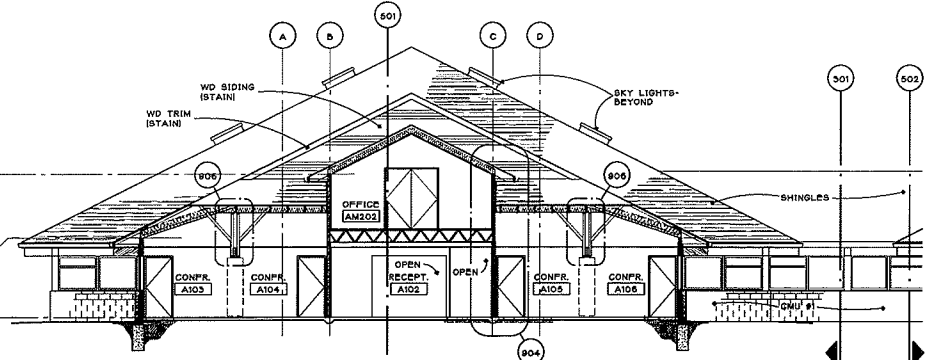
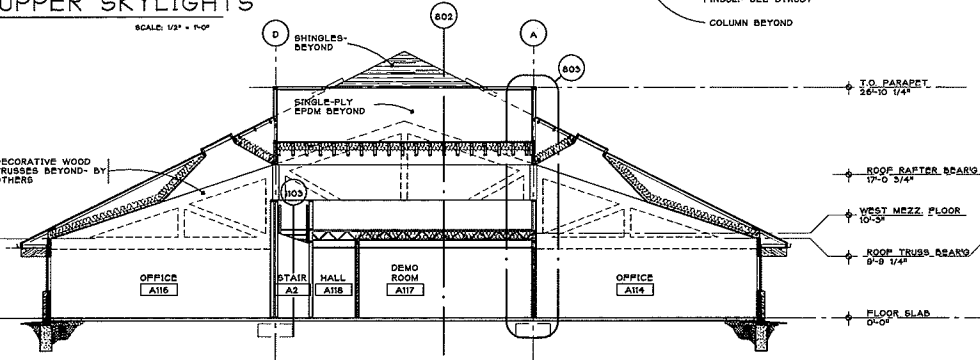
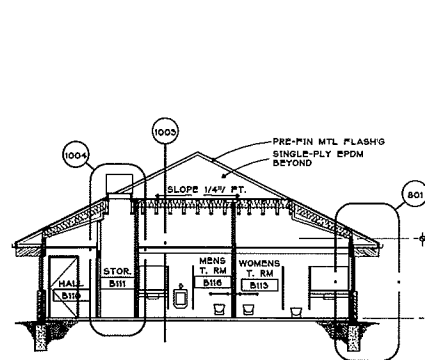
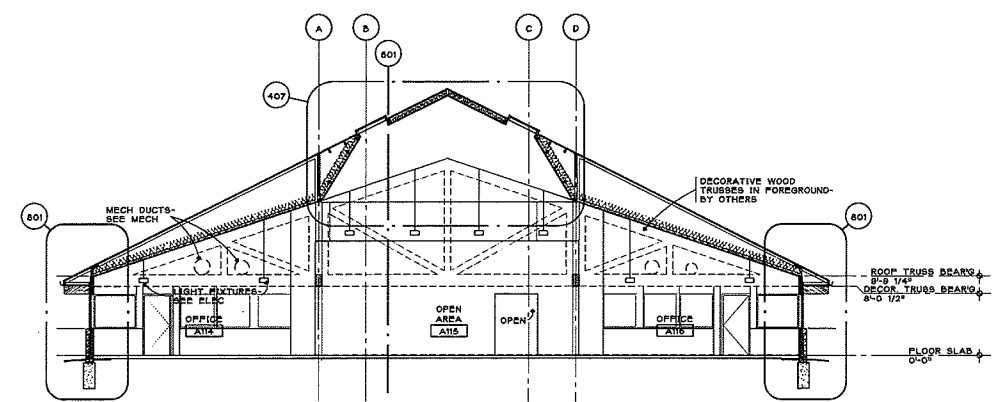
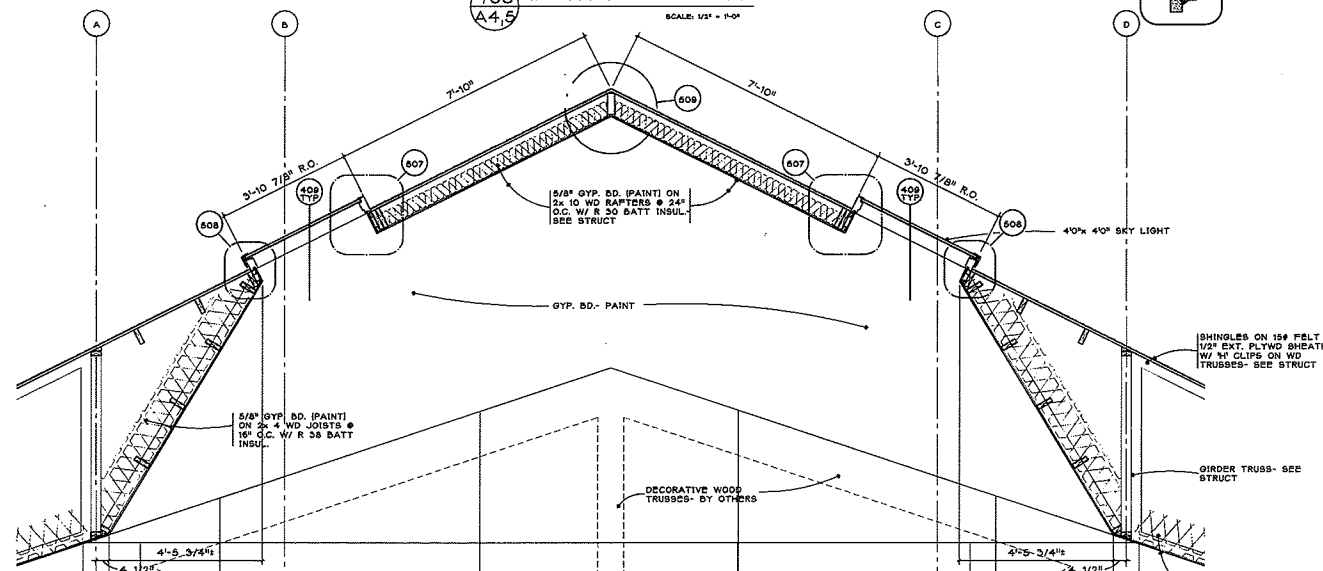
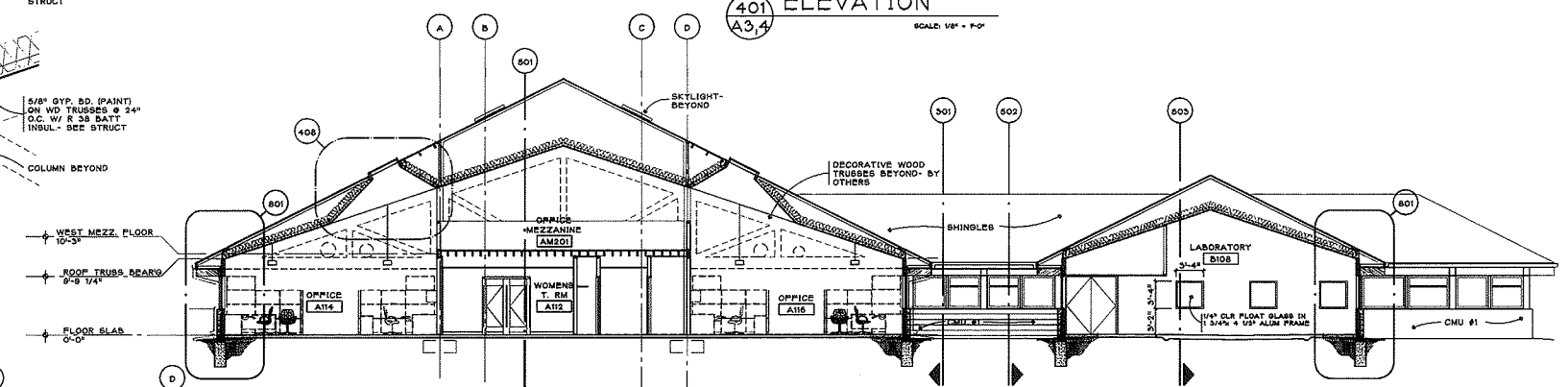
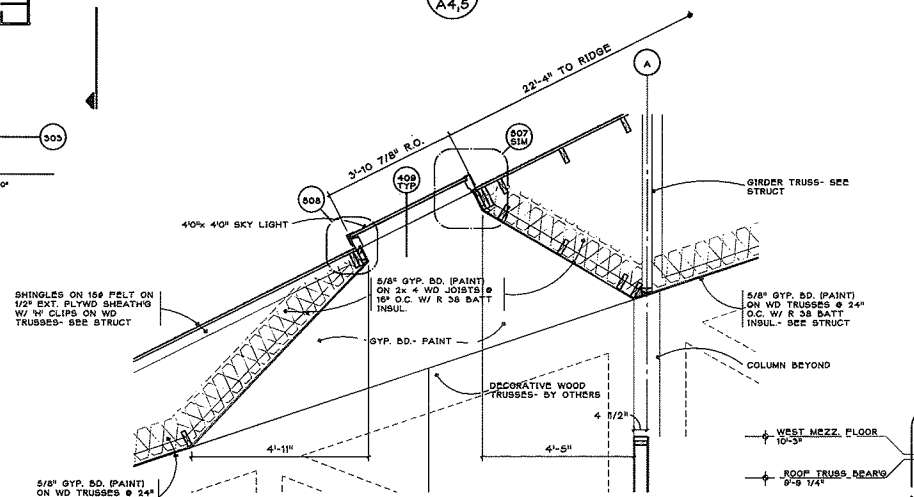
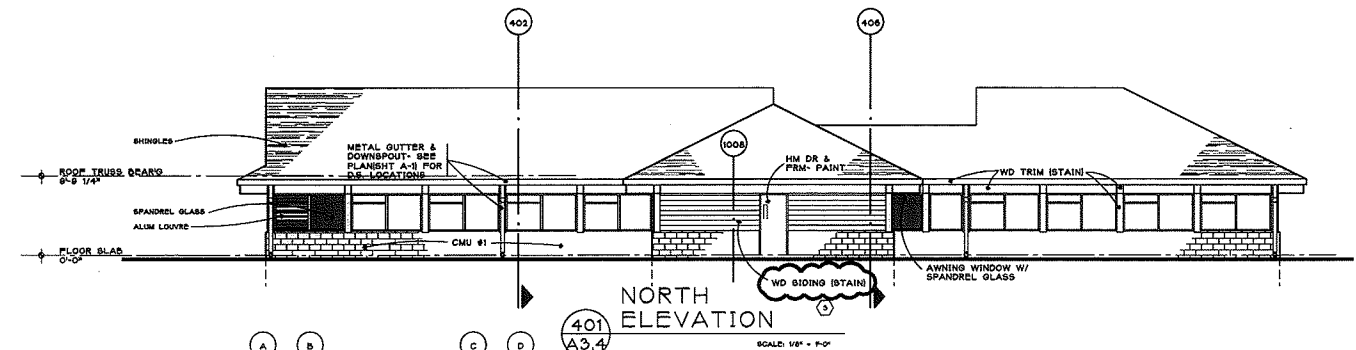
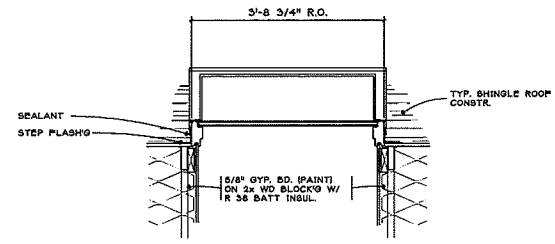
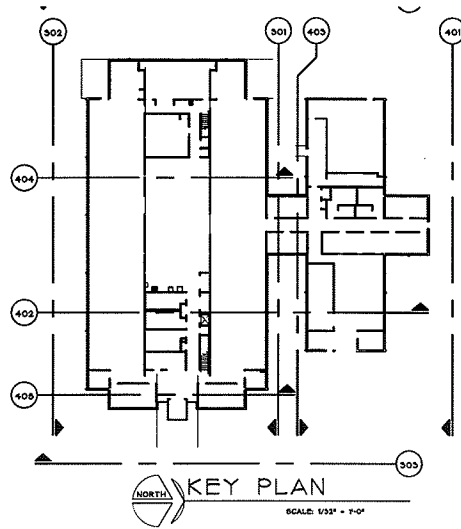
**BUILDING ELEVATIONS**

PROJECT NAME: FORESTCOVE OFFICE PARK  
PROJECT LOCATION: ANN ARBOR MICHIGAN

DESIGNER: SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.  
CONTRACT NO.: 1603  
SHEET NO.: A-3

**FORESTCOVE OFFICE PARK**  
ANN ARBOR MICHIGAN

PROJECT NO. 1603  
SHEET NO. A-3  
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**BUILDING ELEVATIONS & SECTIONS**

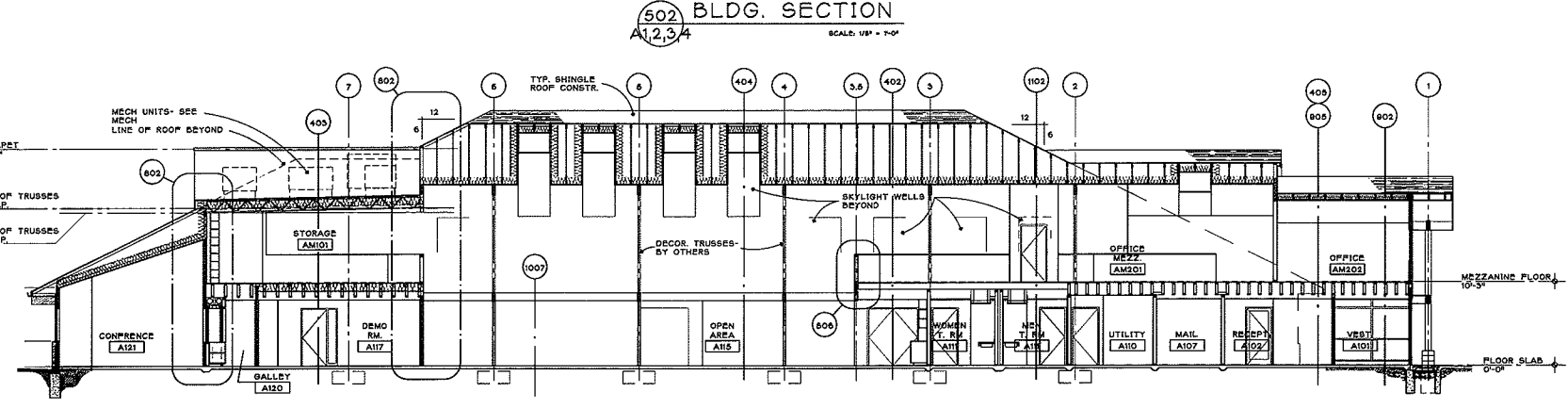
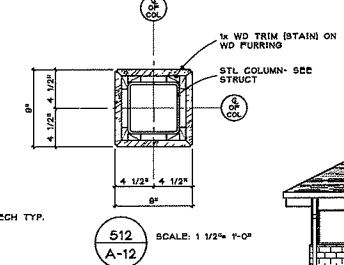
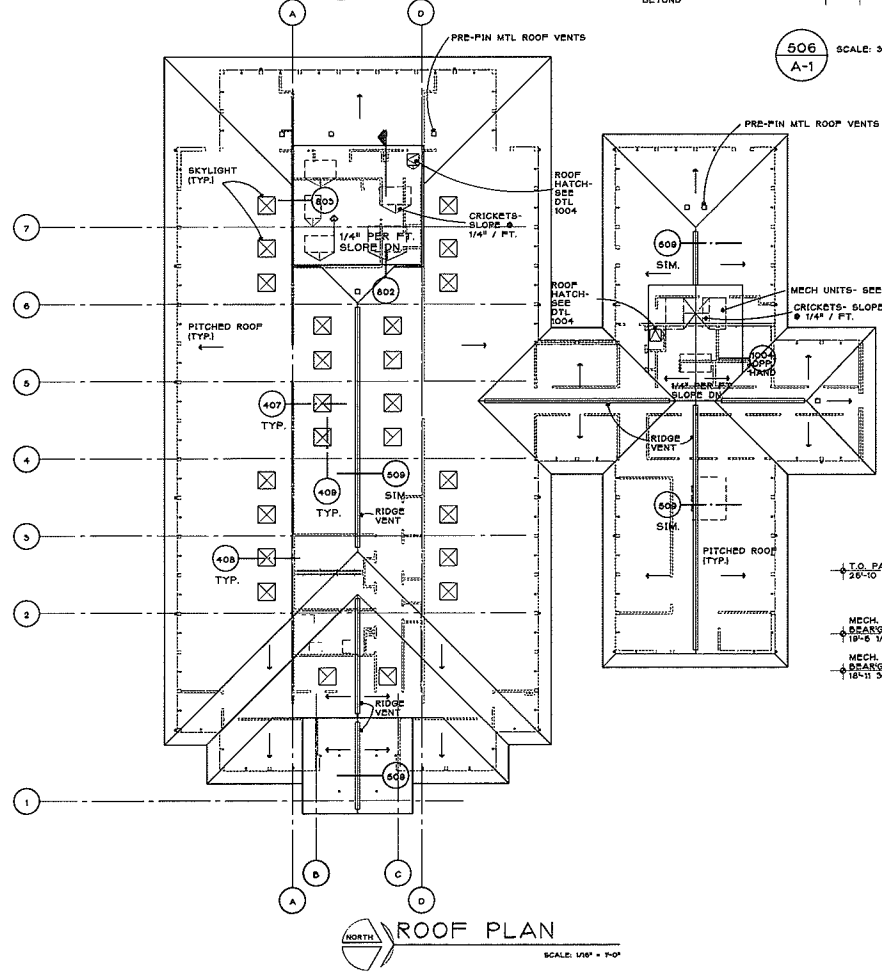
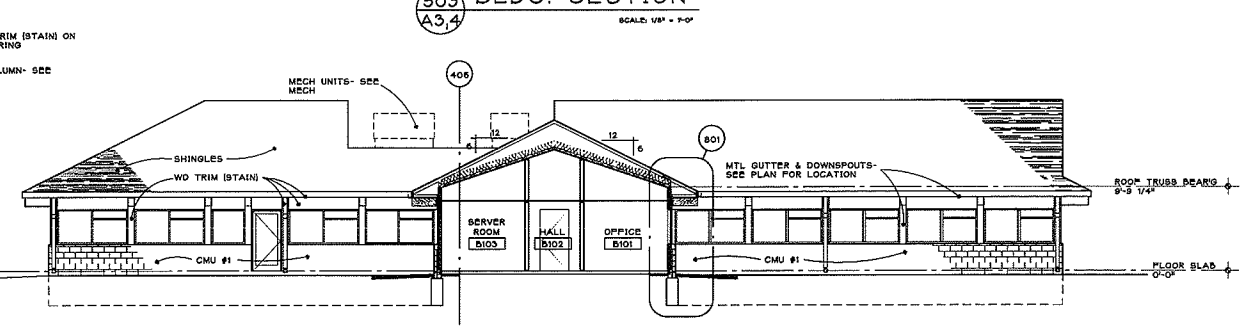
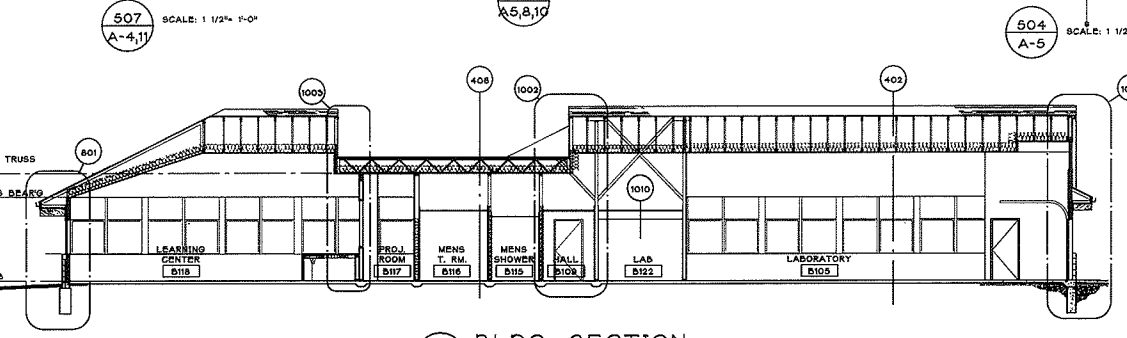
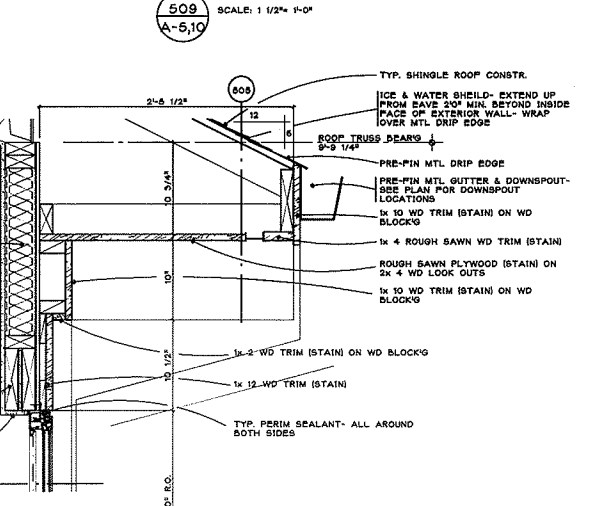
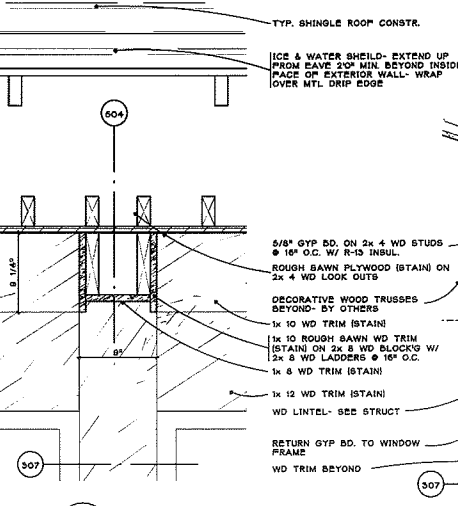
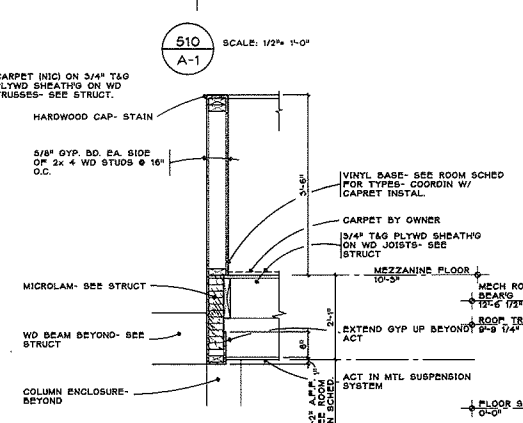
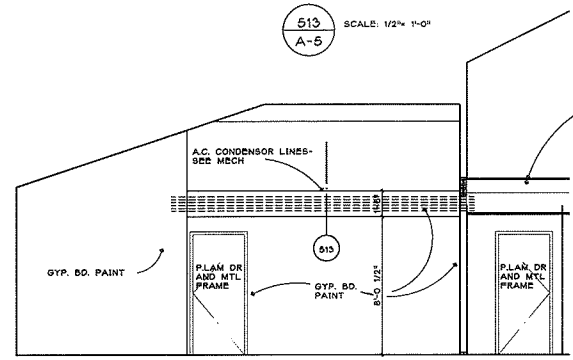
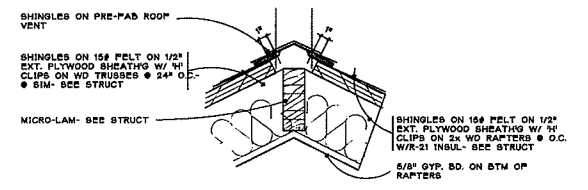
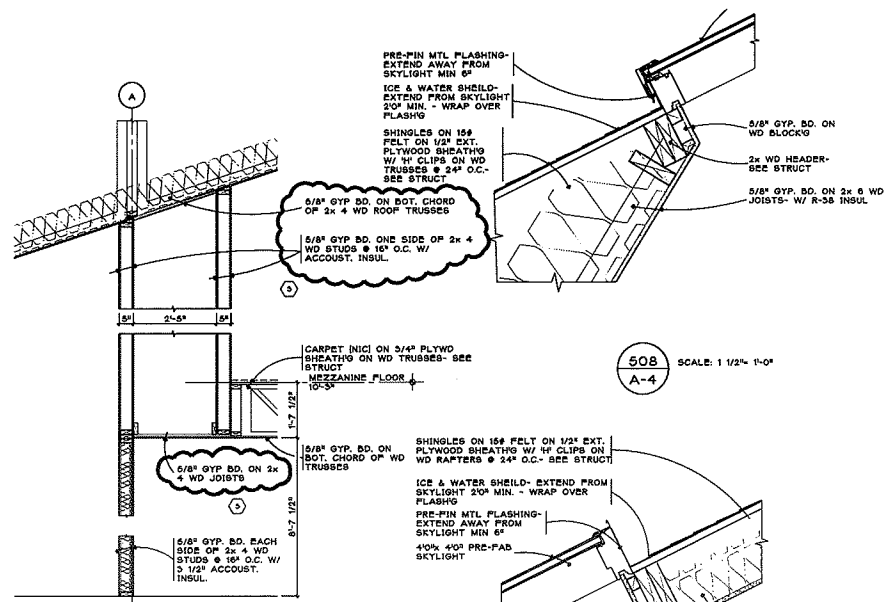
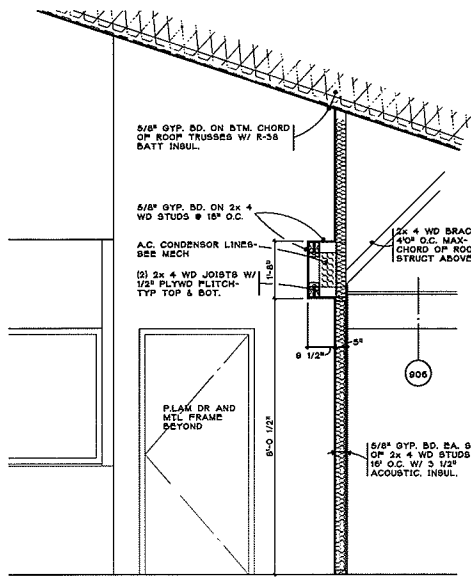
PROJECT NO. 1603  
 SHEET NO. A-4  
 FORESTCOVE OFFICE PARK  
 ANN ARBOR MICHIGAN

PROJECT NO. 1603  
 SHEET NO. A-4

PROJECT NO. 1603  
 SHEET NO. A-4  
 FORESTCOVE OFFICE PARK  
 ANN ARBOR MICHIGAN

SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.  
 SUITE 281 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325

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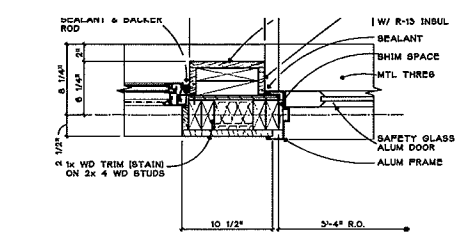
**BUILDING SECTIONS & ROOF PLAN**

PROJECT NAME: FORESTCOVE OFFICE PARK  
PROJECT LOCATION: ANN ARBOR MICHIGAN

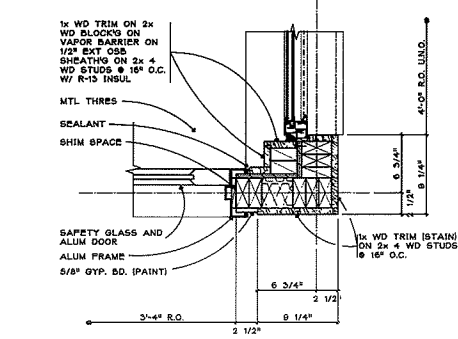
PROJECT NO. 1603  
SHEET NO. A-5  
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ARCHITECTS AND PLANNERS INC.  
SUITE 261 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/651-3325

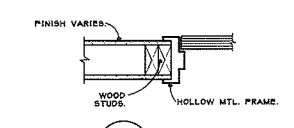




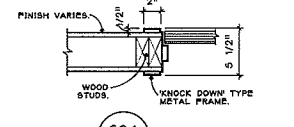
607 SCALE: 1 1/2" = 1'-0"



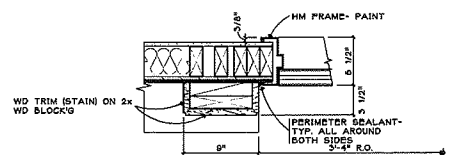
606 SCALE: 1 1/2" = 1'-0"



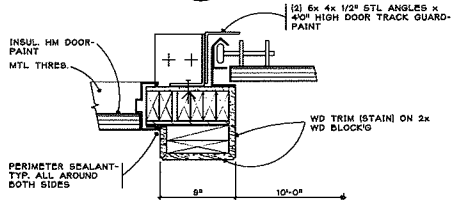
605 SCALE: 1 1/2" = 1'-0"



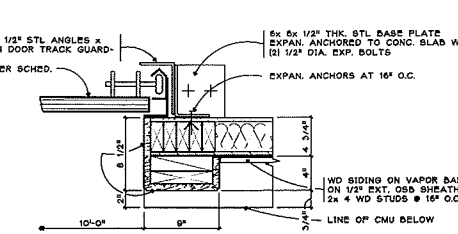
604 SCALE: 1 1/2" = 1'-0"



603 SCALE: 1 1/2" = 1'-0"



602 SCALE: 1 1/2" = 1'-0"

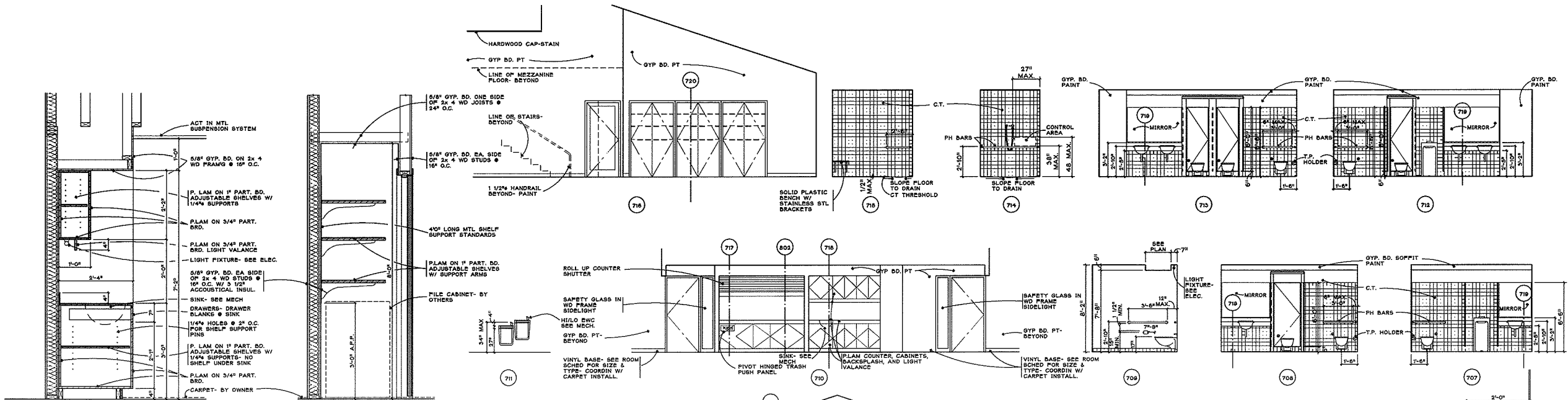


601 SCALE: 1 1/2" = 1'-0"

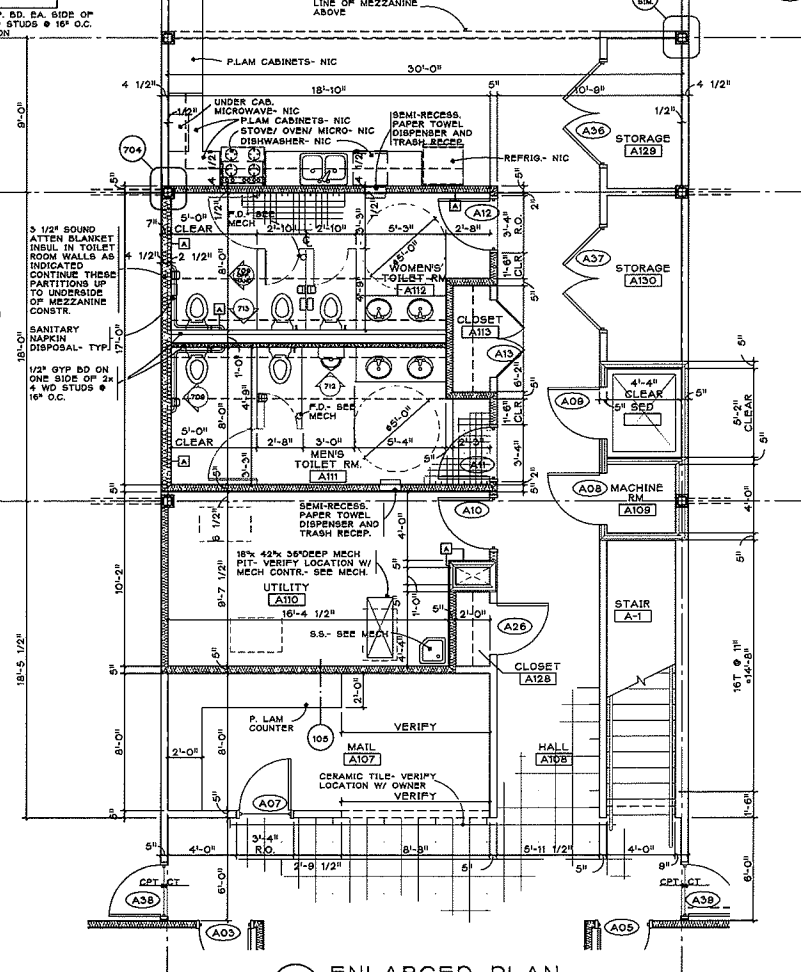
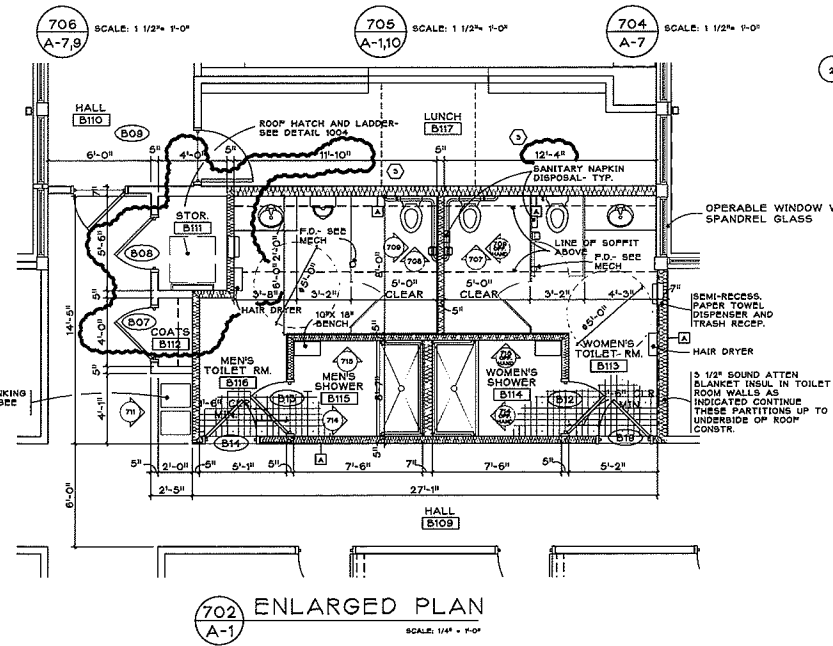
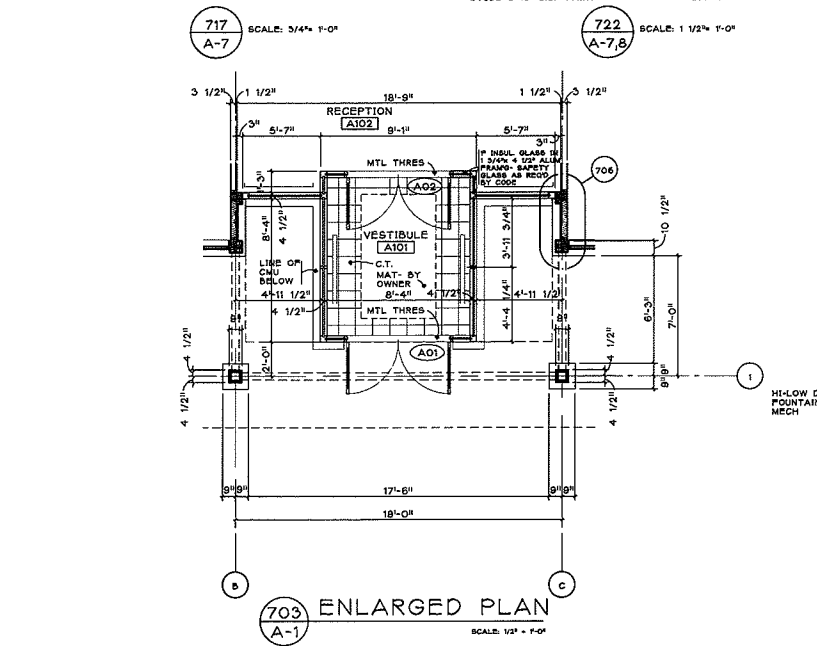
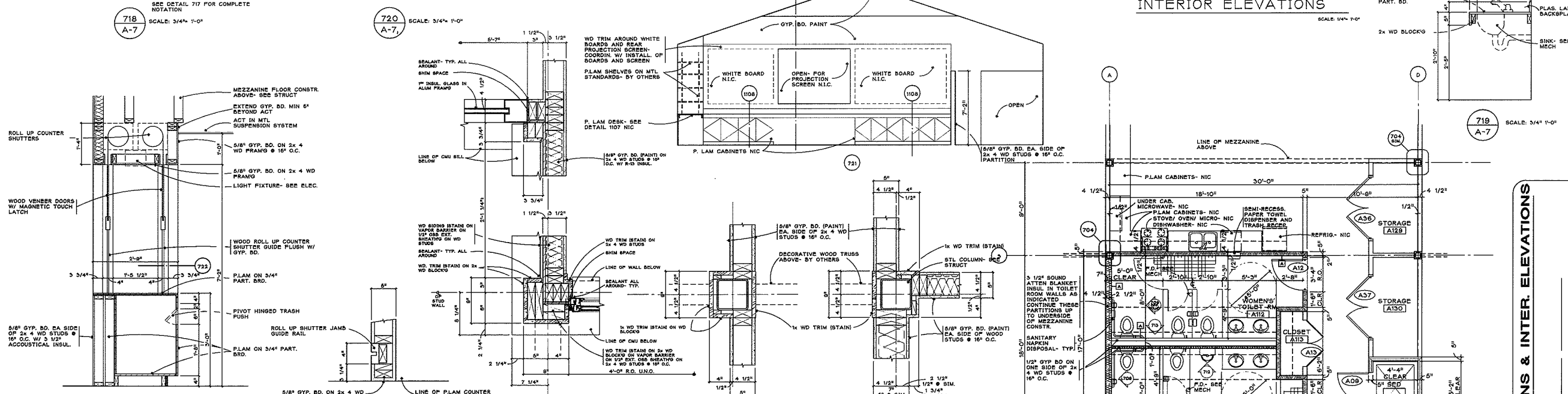
NO.	ROOM	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	NO.	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	NO.	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	
A01	VESTIBULE A101	(2) 3'-0"x7'-0"	A	GL. & ALUM.	ALUM.	PREFIN.	PREFIN.	FULL	2	705						601									
A02	VESTIBULE A101	(2) 3'-0"x7'-0"	A	GL. & ALUM.	ALUM.	PREFIN.	PREFIN.	FULL	2	705						601									
A03	CONFERENCE A104	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A04A	CONFERENCE A103	11'-0"x7'-0"	F	PREFIN.						606															
A04	CONFERENCE A103	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A05	CONFERENCE A105	11'-0"x7'-0"	F	P. LAM.	MTL					604															
A05A	CONFERENCE A105	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A06	CONFERENCE A108	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				1	605															
A07	MAIL A107	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				2	608															
A08	S.E.D.	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				3	605	B-LABEL														
A09	MACH. RM. A108	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				3	605	B-LABEL														
A10	UTILITY A110	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				1	608															
A11	MENS TOILET RM. A111	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				4	605															
A12	WOMENS TOILET RM. A112	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				4	608															
A13	CLOSET A113	(2) 3'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				6	604 BIM															
A14	NOT USED																								
A15	STORAGE A118	3'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL	PREFIN.	PREFIN.		6	604															
A16	DEMONSTRATION A117	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A17	STORAGE A-124	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				7	604															
A18	COATS A-125	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				7	604															
A19	NOT USED																								
A20	OFFICE A114	3'-0"x7'-0"x1 3/4"	D	GL. & ALUM.	ALUM.	PREFIN.	PREFIN.		606	607															
A21	CONFERENCE A121	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A22	CONFERENCE A131	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A23	OFFICE A116	3'-0"x7'-0"x1 3/4"	D	GL. & ALUM.	ALUM.				608	607															
A24	COPIER A126	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A25	WATER ROOM A137	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				1	604															
A28	CLOSET A128	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL				6	604															
A27-A30	NOT USED																								
A30	STORAGE 131	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL	PREFIN.	PREFIN.		8	604															
A31	STORAGE 131	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A32	ELEC. ROOM A123	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A33	STORAGE 132	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A34	STORAGE 132	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A35	STORAGE 133	(2) 2'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A36	STORAGE A138	(2) 3'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A37	STORAGE A130	(2) 3'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604															
A38	RECEPTION A102	3'-0"x7'-0"x1 3/4"	G	P. LAM.	MTL			FULL	14	604															
A39	RECEPTION A102	3'-0"x7'-0"x1 3/4"	G	P. LAM.	MTL			FULL	14	604															
A40	HALL A122	3'-0"x7'-0"x1 3/4"	G	P. LAM.	MTL			FULL	14	604															
A41	HALL A123	3'-0"x7'-0"x1 3/4"	G	P. LAM.	MTL			FULL	14	604															
AM01	S.E.D.	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				3	605															
AM02	OFFICE AM202	(2) 3'-0"x7'-0"x1 3/4"	C	P. LAM.	MTL				8	604 BIM															
B01	OFFICE B103	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.	6"x30"	1	604															
B02	OFFICE B101	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		1	604															
B03	LABORATORY B105	10'-0"x7'-0"	E	MTL					601	602															
B04	LABORATORY B105	3'-0"x7'-0"x1 3/4"	B	H.M.	H.M.	PAINT	PAINT	6"x30"	10	605															
B05	MECH B106	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		2	606	C-LABEL														
B06	STORAGE B107	(2) 3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		8	605															
B07	COATS B112	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		7	605															
B08	STORAGE B111	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		6	605															
B09	PROJECTION ROOM B117	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		10	605															
B10	HALL B110	3'-0"x7'-0"x1 3/4"	B	H.M.	H.M.	PAINT	PAINT		10	605															
B11	LEARNING CTR. B118	3'-0"x7'-0"x1 3/4"	B	H.M.	H.M.	PAINT	PAINT		10	605															
B12	WOMENS SHOWER B114	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		11	605															
B13	MENS SHOWER B115	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				11	605															
B14	MENS TOILET RM B116	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.				4	605															
B15	LUNCH RM B110	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PREFIN.	6"x30"	6	605															
B16	OFFICE B119	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		1	604															
B17	LAB B122	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		6	604															
B18	HALL B109	3'-0"x7'-0"x1 3/4"	B	H.M.	H.M.	PAINT	PAINT	6"x20"	13	605	B-LABEL														
B19	WOMENS TOILET RM. B113	3'-0"x7'-0"x1 3/4"	B	P. LAM.	H.M.	PREFIN.	PAINT		4	605															
B20	LABORATORY B105	(2) 3'-0"x7'-0"x1 3/4"	C	P. LAM.	H.M.	PREFIN.	PAINT	20'5"x20'	12	605 BIM	B-LABEL														
B21	LAB B123	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		6	604															
B22	LAB B121	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		6	604															
B23	LAB B120	3'-0"x7'-0"x1 3/4"	B	P. LAM.	MTL	PREFIN.	PREFIN.		6	604															
B24	HALL B110	3'-0"x7'-0"x1 3/4"	D	P. LAM.	H.M.	PREFIN.	PAINT	FULL	1	606															

NO.	ROOM	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	NO.	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	NO.	FINISH	GLASS	ALUM.	PREFIN.	PAINT	FULL	QTY	
A101	VESTIBULE	CT-1 MAT																							
A102	RECEPTION	CT-1	VC-1	8'-2"	ACT-2	GB (PT)	GL	GL	GL	GL															RECESSED MATS
A103	CONFERENCE	CPT INCI	VS-1	8'-2"	ACT-3	GB (PT) FOLDO DR	GB (PT)	GL	GL	GL															WALL BUMPER RAILS 306A,F,F.
A104	CONFERENCE	CPT INCI	VS-1	8'-2"	ACT-2	GB (PT) FOLDO DR	GB (PT)	GL	GL	GL															WALL BUMPER RAILS 306A,F,F.
A105	CONFERENCE	CPT INCI	VS-1	8'-2"	ACT-3	GB (PT) FOLDO DR	GB (PT)	GL	GL	GL															WALL BUMPER RAILS 306A,F,F.
A106	CONFERENCE	CPT INCI	VS-1	8'-2"	ACT-2	GB (PT) FOLDO DR	GB (PT)	GL	GL	GL															WALL BUMPER RAILS 306A,F,F.
A107	MAIL	CPT INCI	VS-1	8'-2"	ACT-1	GB (PT)	GL	GL	GL																





INTERIOR ELEVATIONS

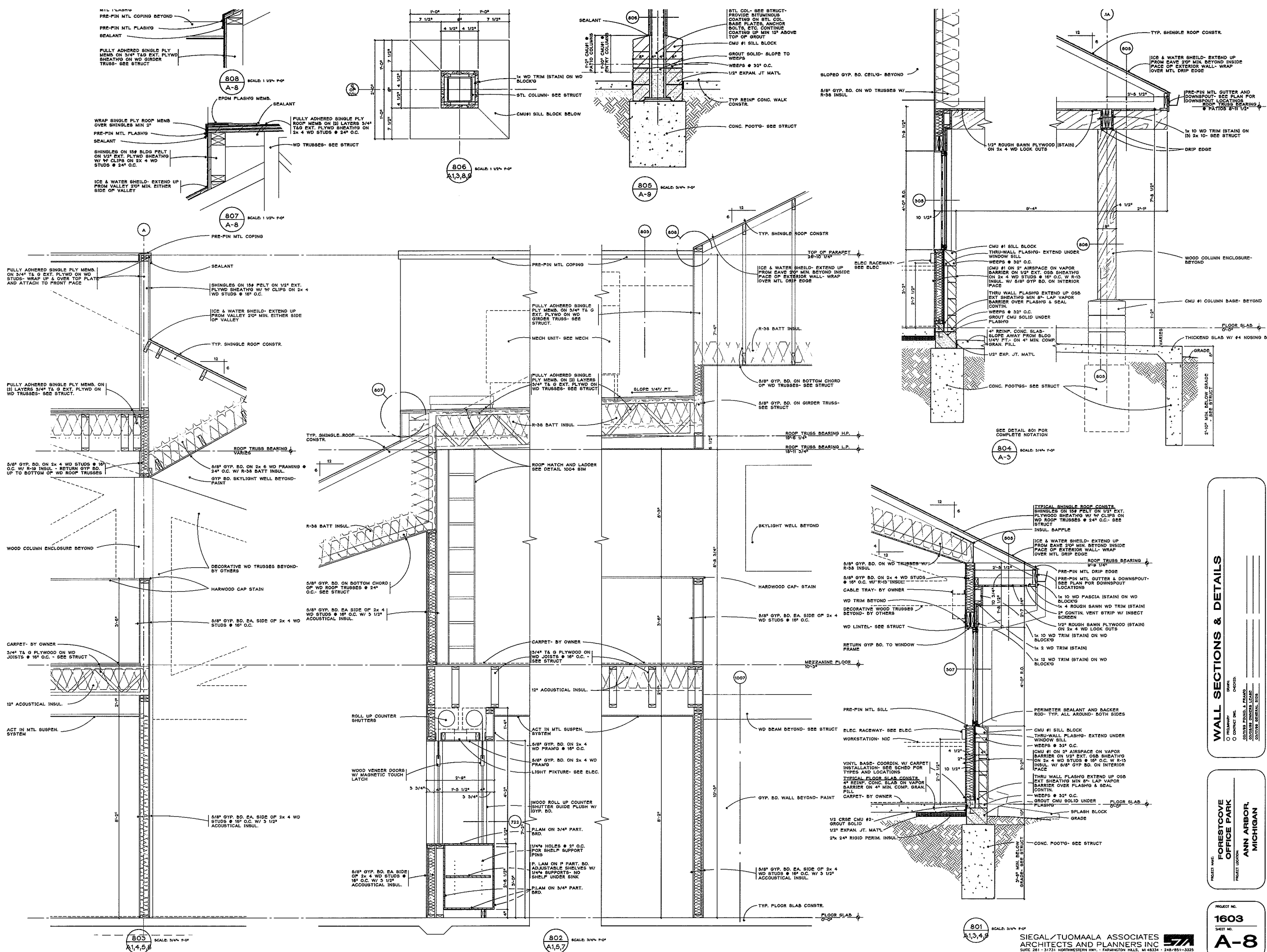


ENLARGED PLANS & INTER. ELEVATIONS

PROJECT NAME: FORESTCOVE OFFICE PARK  
 PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO. 1603  
 SHEET NO. A-7  
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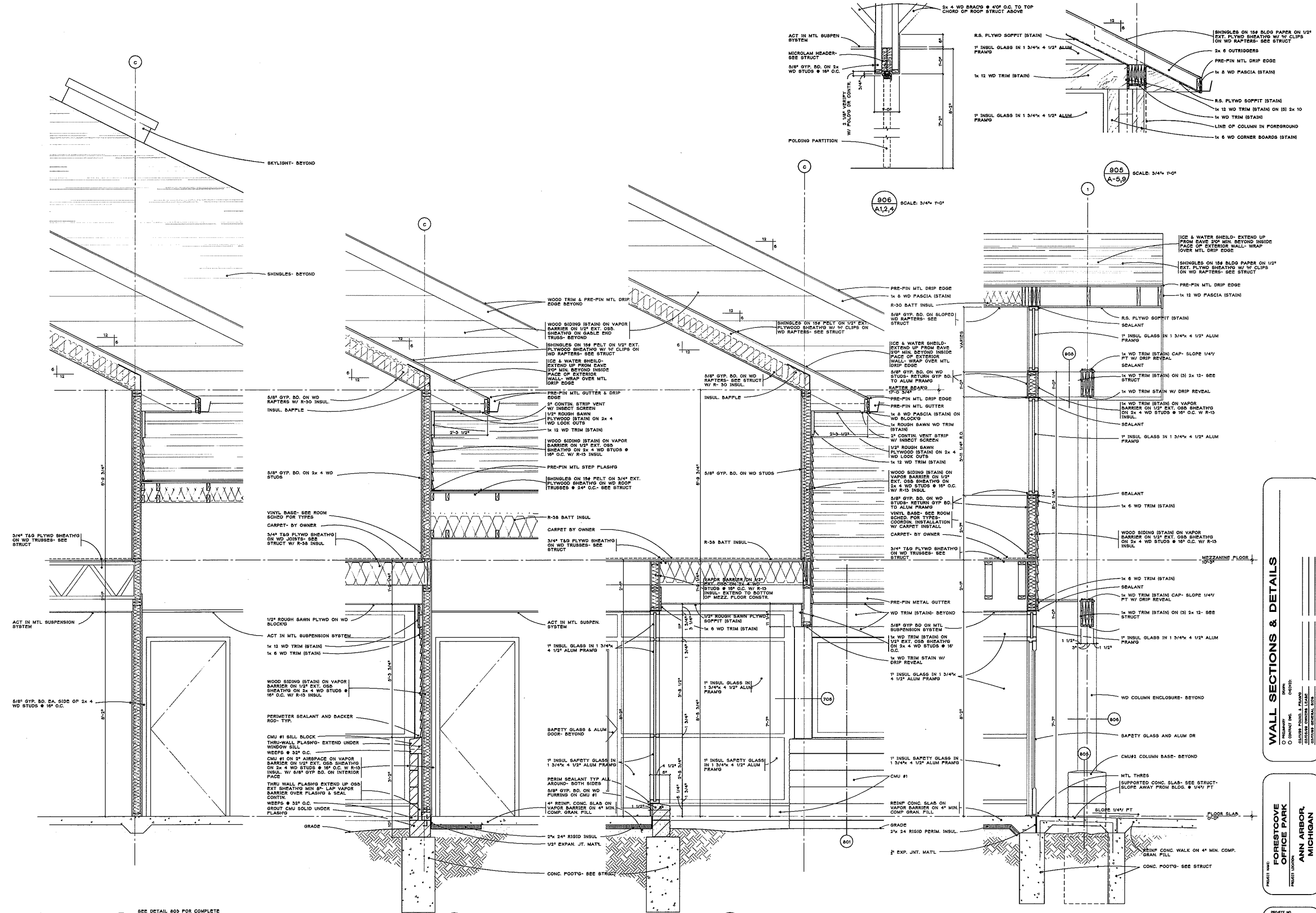


**WALL SECTIONS & DETAILS**

PROJECT NO. 1603  
 SHEET NO. A-8  
 ARCHITECTS AND PLANNERS INC.  
 ANN ARBOR, MICHIGAN

SIEGAL/TUOMAALA ASSOCIATES  
 ARCHITECTS AND PLANNERS INC.  
 SUITE 201 - 31721 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248-851-3355

15/07/2018 10:00 AM C:\PROJECTS\1603\FLOORING\1603\_A-8.dwg



904 SCALE: 3/4" = 1'-0"  
A-1,4

903 SCALE: 3/4" = 1'-0"  
A-1

902 SCALE: 3/4" = 1'-0"  
A-1,5

901 SCALE: 3/4" = 1'-0"  
A-1

906 SCALE: 3/4" = 1'-0"  
A1,2,4

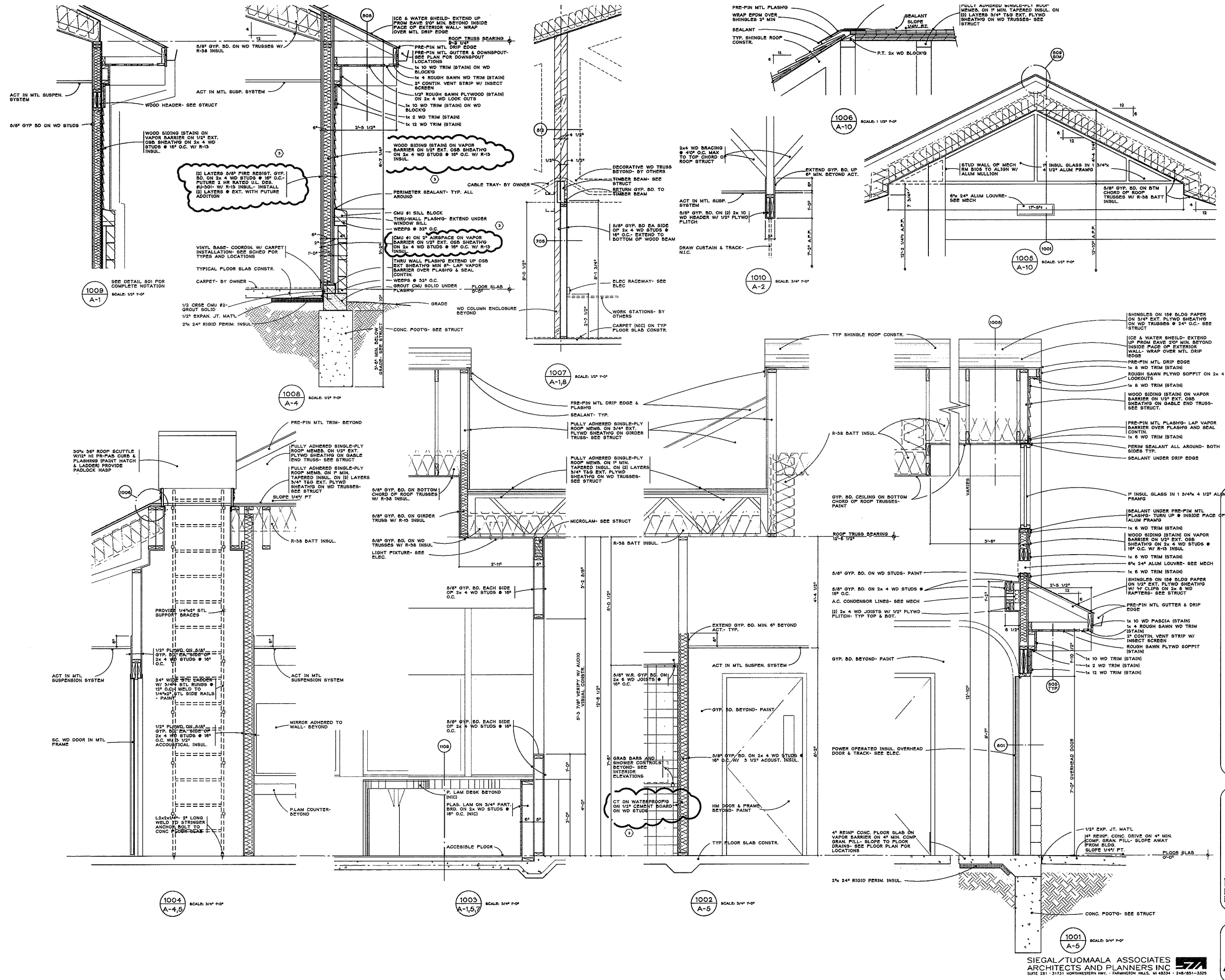
905 SCALE: 3/4" = 1'-0"  
A-5,9

**WALL SECTIONS & DETAILS**

PROJECT NAME: FORESTCOVE OFFICE PARK  
 PROJECT LOCATION: ANN ARBOR, MICHIGAN

DESIGNED BY: SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

PROJECT NO. 1603  
 SHEET NO. A-9  
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**WALL SECTIONS & DETAILS**

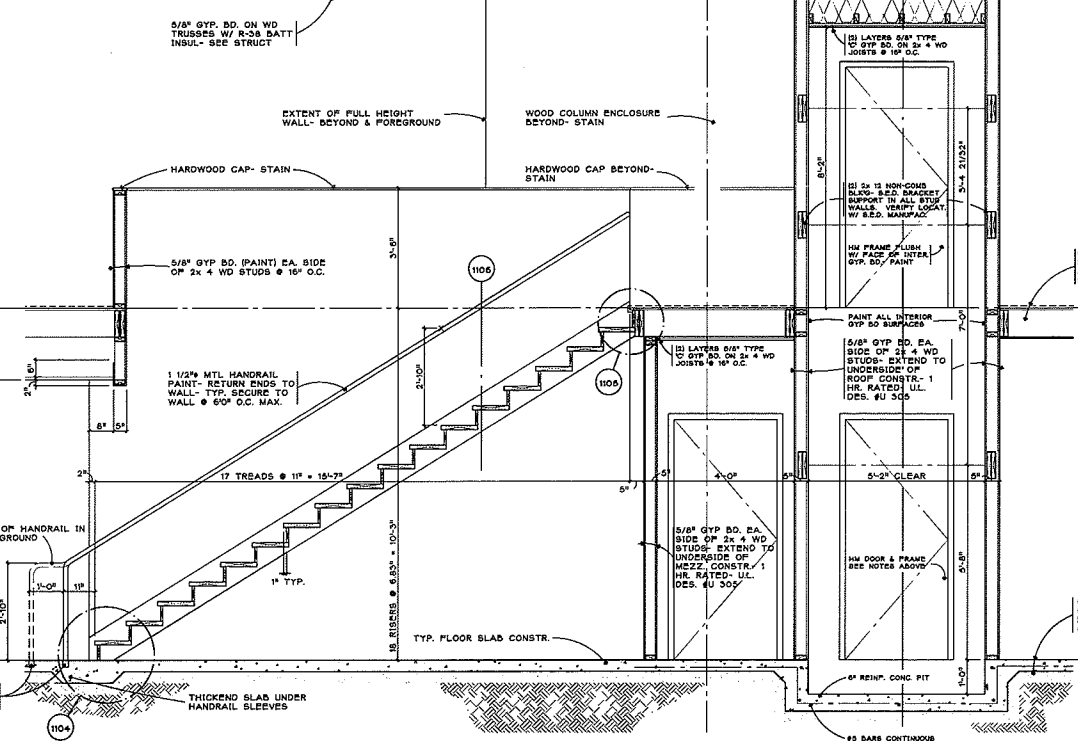
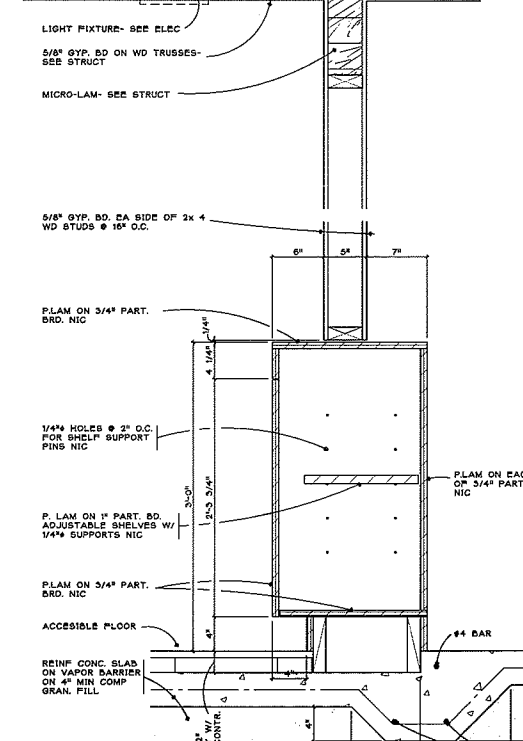
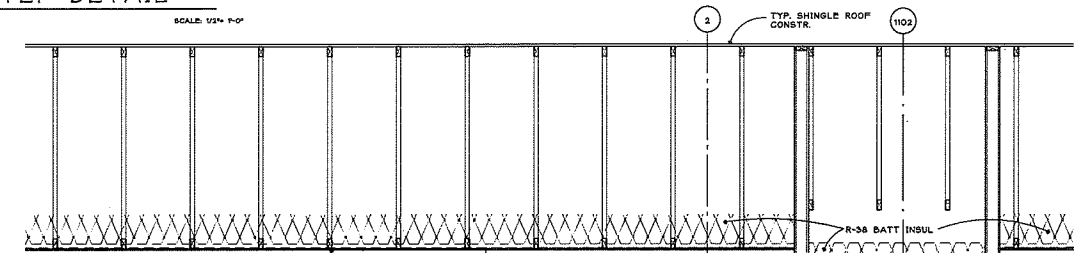
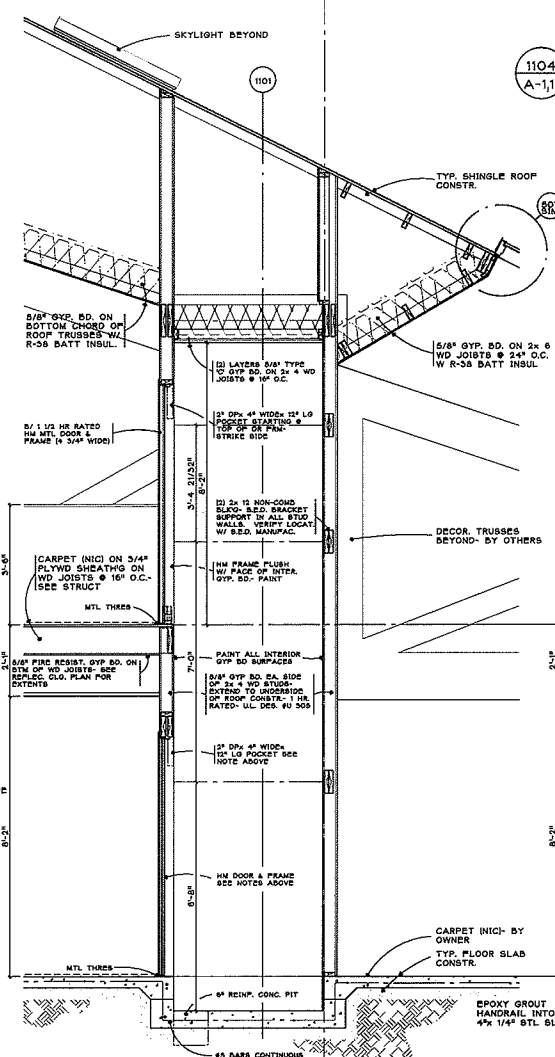
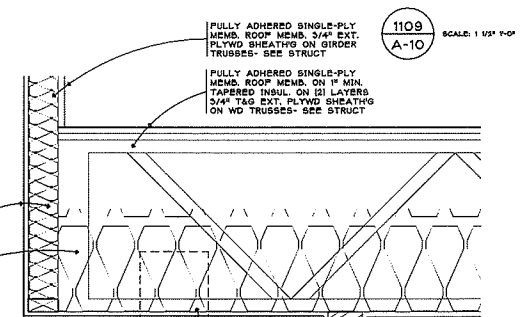
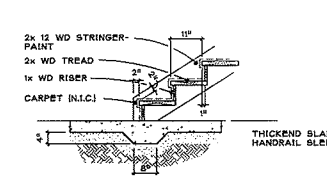
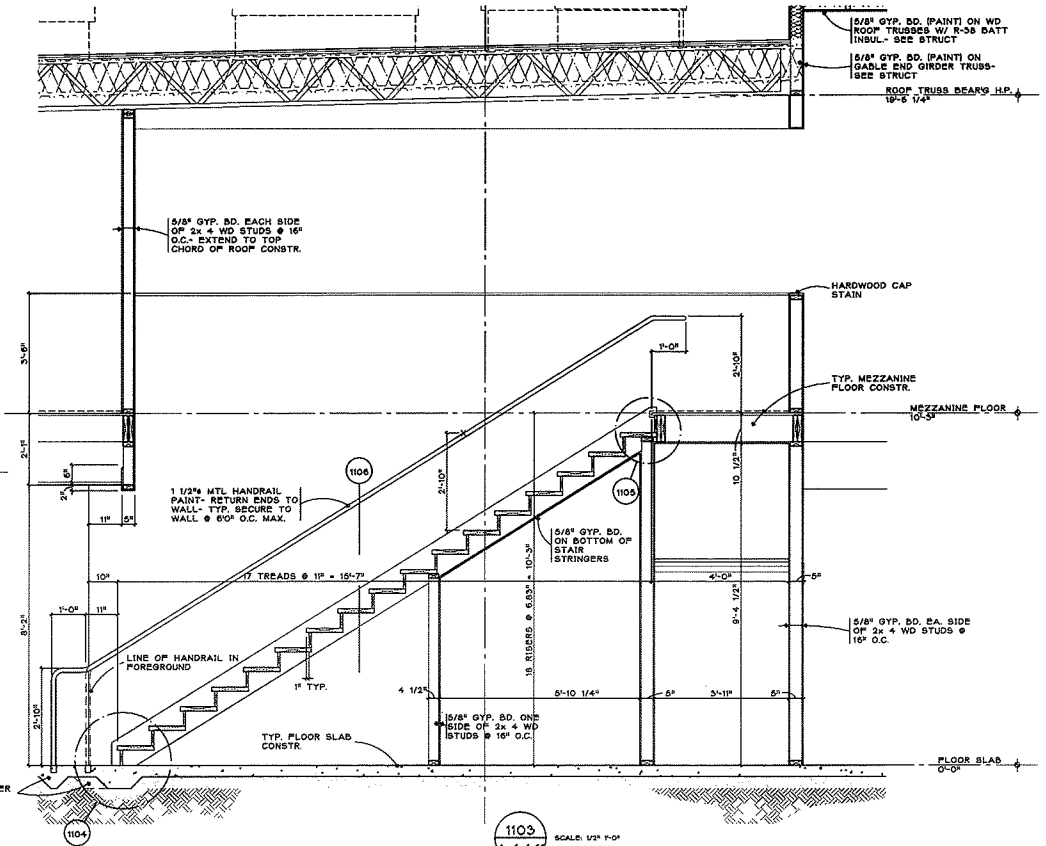
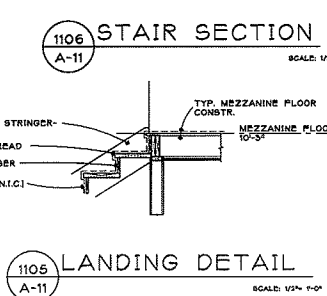
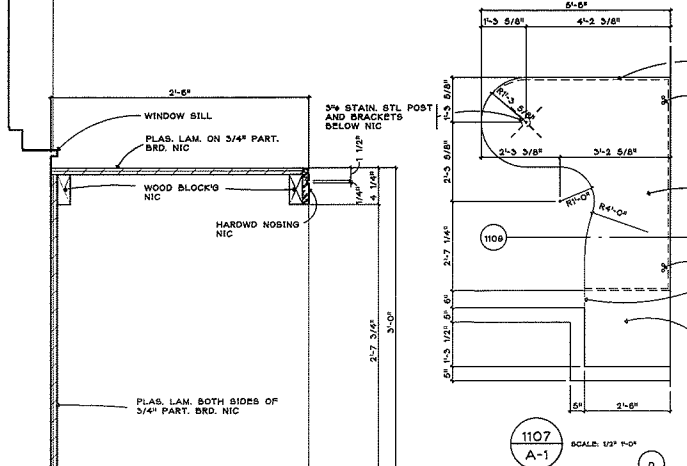
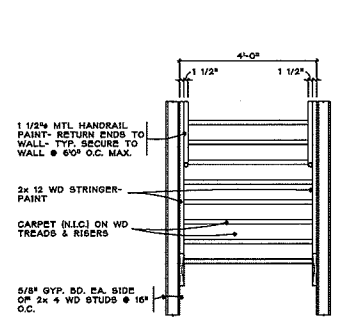
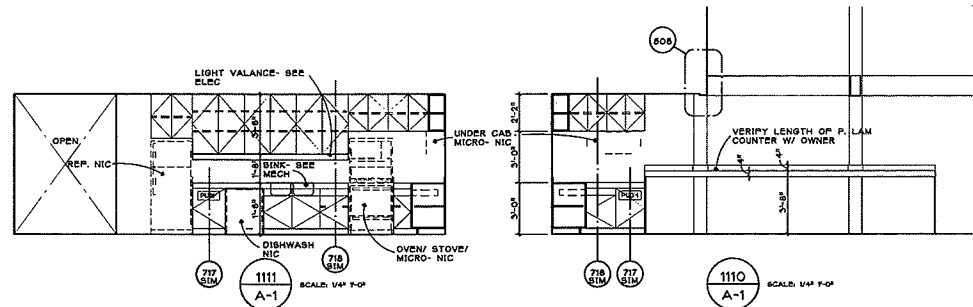
PROJECT NO. 1603  
 PROJECT LOCATION: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN  
 DRAWING NO. 1001  
 DATE: 11/15/11

**FORESTCOVE OFFICE PARK**  
 ANN ARBOR, MICHIGAN

PROJECT NO. 1603  
 SHEET NO. A-10  
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DATE PLOTTED: 11/15/11 10:00 AM



**S.E.D. AND STAIR SECTIONS**

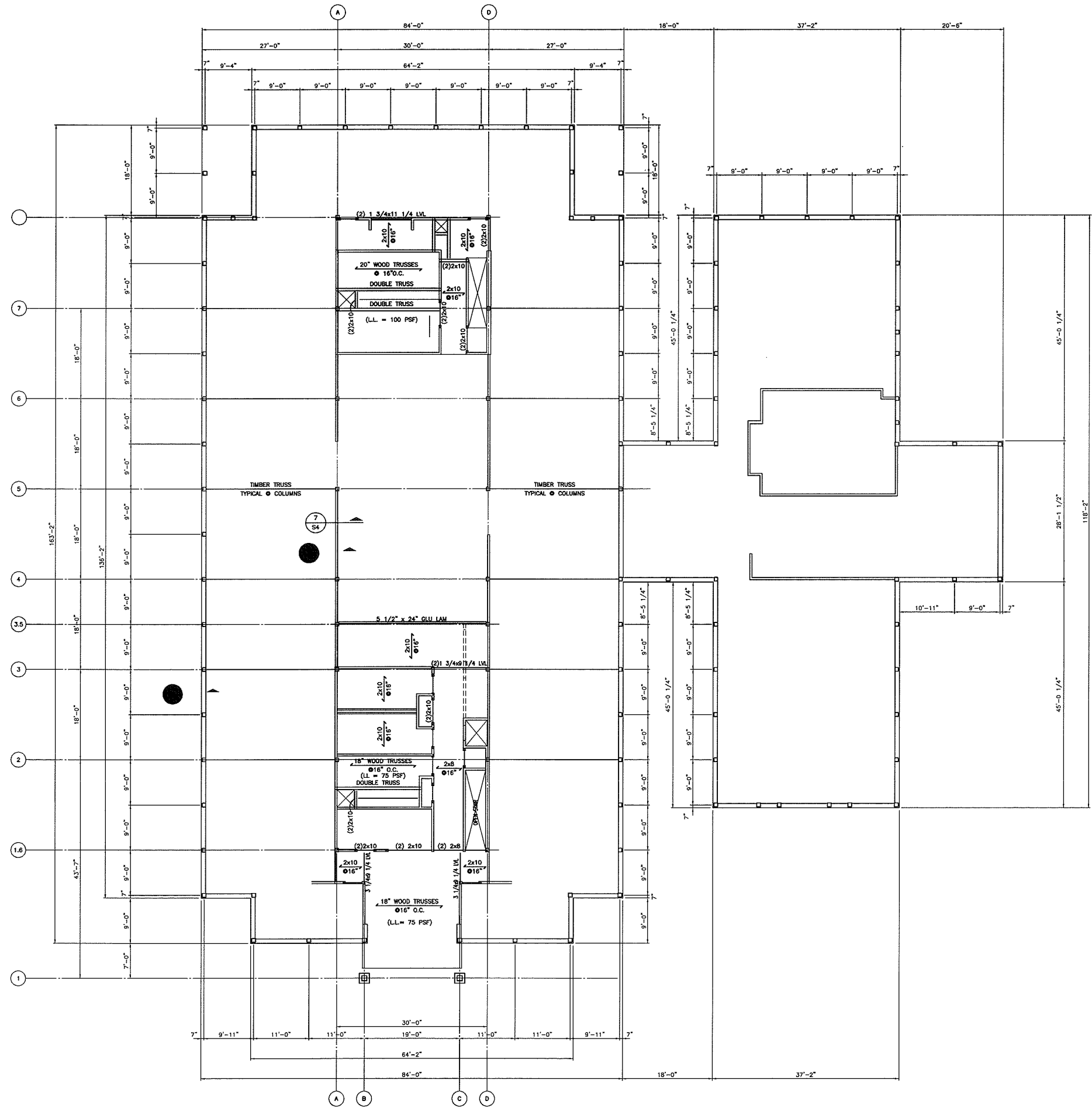
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DATE: 10/15/10  
DRAWN: [Name]  
CHECKED: [Name]  
DESIGNED: [Name]  
PROJECT LOCATION: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN

**FORESTCOVE OFFICE PARK**  
ANN ARBOR, MICHIGAN

PROJECT NO. 1603  
SHEET NO. A-11  
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**MEZZANINE FRAMING PLAN**  
 SCALE: 1/8" = 1'-0"

SIEGAL/TUOMALA ASSOCIATES  
 ARCHITECTS AND PLANNERS INC  
 SUITE 261 • 31751 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/761-3325

**MEZZANINE FRAMING PLAN**

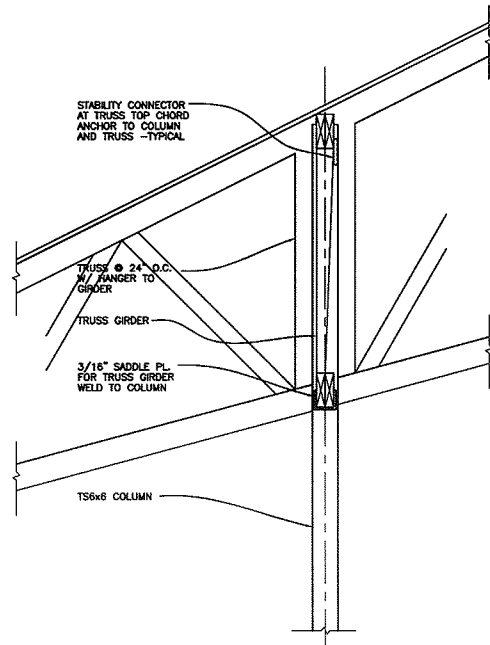
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 CLIENT: FORESTCOVE OFFICE PARK  
 ADDRESS: ANN ARBOR, MICHIGAN

PROJECT NO.: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_  
**1603**  
**S-2**  
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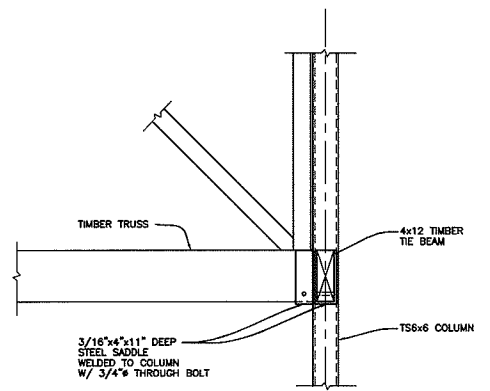




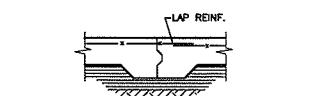




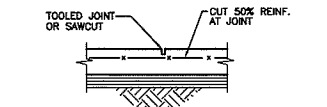
8 -  
84 SCALE: 3/4" = 1'-0"



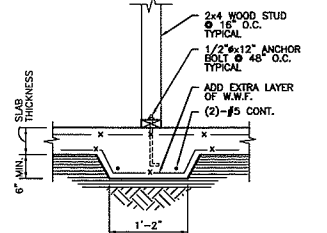
7 -  
84 SCALE: 3/4" = 1'-0"



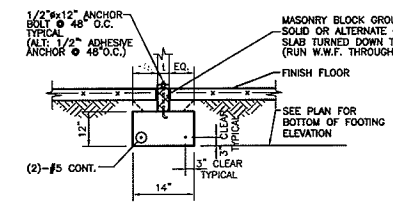
5B TYP. CONSTRUCTION JOINT  
84 NO SCALE



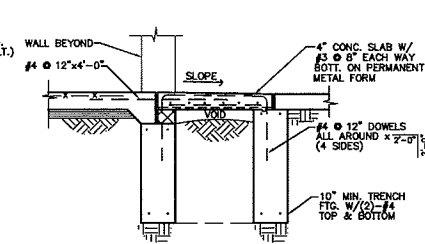
5A TYP. CONTROL JOINT  
84 NO SCALE



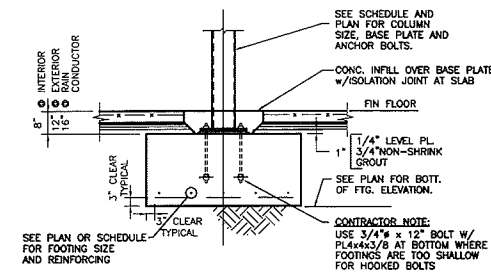
5 TYPICAL THICKENED SLAB  
84 NO SCALE



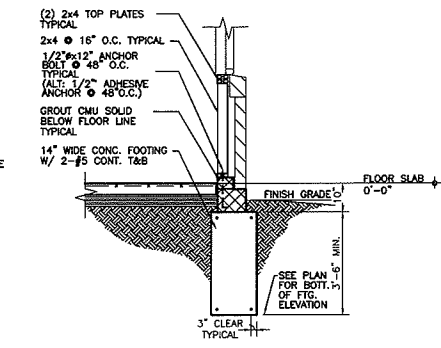
4 TYPICAL INTERIOR WALL FOOTING  
84 SCALE: 1/2" = 1'-0"



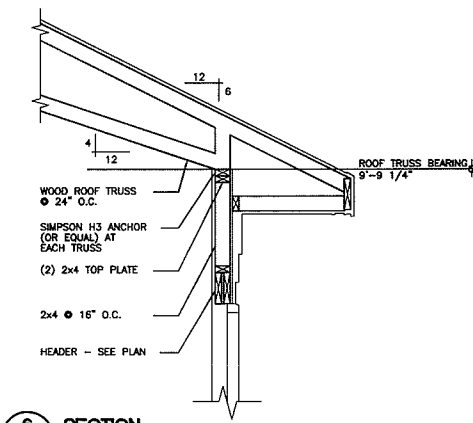
3 TYPICAL ENTRANCE SLAB  
84 SCALE: 1/2" = 1'-0"



2 TYPICAL INTERIOR COLUMN FOOTING  
84 SCALE: 1/2" = 1'-0"



1 TYPICAL EXTERIOR WALL FOOTING DETAIL  
84 SCALE: 1/2" = 1'-0"



6 SECTION  
84 SCALE: 3/4" = 1'-0"

GENERAL NOTES

- GENERAL CONDITIONS
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
  - THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., D.A.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY THE CONTRACTOR.
  - THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUYS OR TIE-DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.
  - USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.

- FOUNDATIONS
- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH A SAFE BEARING CAPACITY OF 3000 P.S.F. IN ACCORDANCE WITH PSI REPORT NO. 407-85014 DATED 9/21/88. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
  - WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.
  - PROVIDE NECESSARY SHEETING SHORING BRACING, ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.

- CONCRETE
- MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS, U.O.N.; SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. EXPOSED CONCRETE SHALL BE 4000 PSI WITH 6% + 1% ENTRAINED U.O.N.
  - ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
  - ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 3/8 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION.
  - REINFORCED CONCRETE WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING AS THE MAIN HORIZONTAL REINFORCING. PROVIDE 2-#5 BARS EACH SIDE OF ALL OPENINGS AND 2-#5 X 4'-0" DIAGONAL BARS AT CORNERS OF OPENINGS.
  - ALL SLABS ON GROUND SHALL BE 4" THICK AND HAVE 6" X 6" W1.4 X W1.4 WIRE MESH IN THE TOP 1/3 OF THE SLAB, UNLESS OTHERWISE NOTED.

- MASONRY
- ALL MASONRY WORK IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6) AND I.C.C.A. SPECIFICATIONS.
  - ALL BLOCK SHALL CONFORM TO ASTM C90 AND C145, TYPE I, GRADE N.
  - MORTAR SHALL BE TYPE "S" (1800 PSI) CONFORMING TO ASTM C-270.
  - MASONRY COMPRESSIVE STRENGTH  $f_m = 1500$  PSI MINIMUM.
  - PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIZE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL ONLY HAVE "LADDER" TYPE REINFORCING.
  - ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 3/8 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION.
  - ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.
  - MASONRY GROUT SHALL CONFORM TO ASTM C 476, WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN SPECIFIED  $f_m$ .

- STRUCTURAL STEEL
- STEEL DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.
  - ALL STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.S.T.M. SERIAL DESIGNATION A36 OR ASTM A572, GRADE 50; STEEL TUBING TO BE ASTM A500, GRADE B; STEEL PIPE A.S.T.M. A-53, GRADE B.
  - ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST AWS CODE, E70XX ELECTRODES, WITH WELDING PERFORMED BY QUALIFIED WELDERS.
  - BOLTED CONNECTIONS SHALL BE MADE WITH A-325 OR A-490 BOLTS. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-490 BOLTS.
  - THE STRUCTURAL STEEL CONTRACTOR SHALL INCLUDE (2) TONS OF ADDITIONAL STEEL, INCLUDING FABRICATION AND ERECTION, TO BE USED AT THE DISCRETION OF THE STRUCTURAL ENGINEER.
  - THE DESIGN, CONFIGURATION & ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE SHOP DRAWINGS BY THE ENGINEER SHALL CONSTITUTE APPROVAL OF THE LOAD CARRYING ADEQUACY ONLY.
  - REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL ANGLES, PLATES, BARS, CLIPS, ETC.
  - UNLESS OTHERWISE NOTED, ALL FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH L 5 X 3-1/2 X 5/16 L.L.V. VERIFY EXACT SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND WITH CONTRACTOR INVOLVED.
  - THIS STEEL FRAME IS NON SELF-SUPPORTING PER A.I.S.C. CODE OF STANDARD PRACTICE, SECTIONS 7.9.3. AND 7.9.5. ERECTION, BRACING, SHORING, ETC. SHALL CONFORM TO THESE SECTIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE.

DESIGN LIVE LOADS

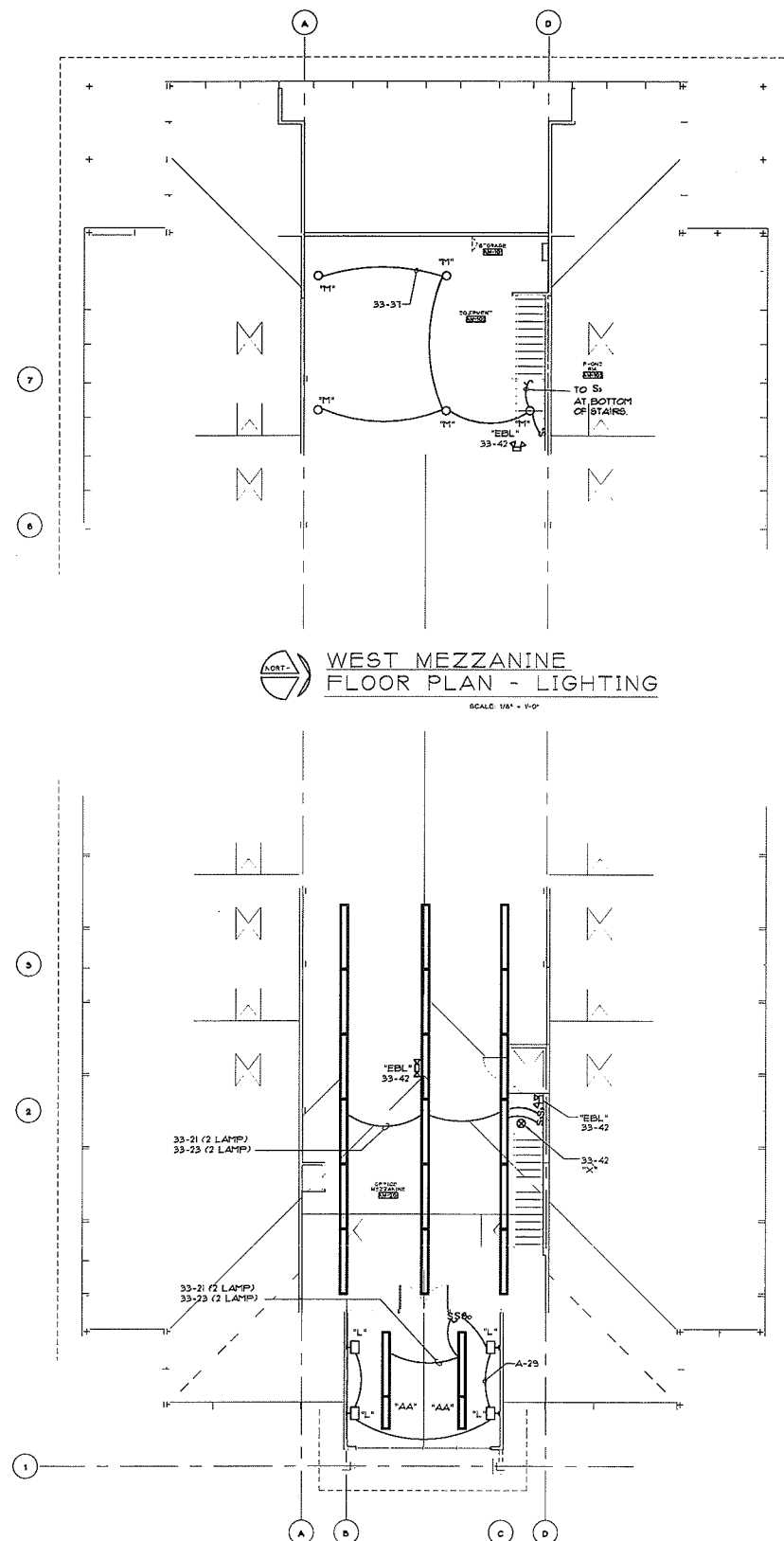
ROOF	25 PSF LIVE LOAD (SNOW) + DRIFT WHERE APPLICABLE PER CODE + UPSET ON TRUSS MEMBERS PER APPLICABLE BUILDING CODE.
OFFICES	50 PSF + 20 PSF (PARTITIONS)
CORRIDORS	100 P.S.F.
STAIRS	100 P.S.F.
MECHANICAL AREAS	150 P.S.F.
STORAGE AREAS	125 P.S.F.
WIND	80 M.P.H. EXPOSURE B 25 PSF MINIMUM FOR ALL MEMBERS DEFINED AS "COMPONENTS AND CLADDING" EXPOSURE C
SEISMIC	$A_v = 0.05$ $A_o = 0.05$

- WOOD
- WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
  - ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA):  
 $F_b = 650$  P.S.I.  
 $F_v = 75$  P.S.I.  
 $E = 1,200,000$   
NO. 2 OR BETTER
  - PROVIDE MINIMUM OF DOUBLE STUD AT EACH END OF WOOD HEADERS, TYPICAL, UNLESS NOTED OTHERWISE.
  - ALL STRUCTURAL GLUED LAMINATED TIMBER TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES BASED ON AITC GRADING STANDARDS:  
 $F_b = 2200$  PSI  
 $F_v = 165$  PSI  
 $E = 1,600,000$
  - ALL LAMINATED VENEER LUMBER (LVL) TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:  
 $F_b = 2800$  PSI  
 $F_v = 285$  PSI  
 $E = 1,800,000$
- TIMBER SUPPLIER SHALL BE A MEMBER OF AITC. TIMBER CONNECTIONS TO BE DESIGNED AND DETAILED BY TIMBER SUPPLIER, WITH FABRICATION BY STEEL FABRICATOR.
- TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. TRUSS MANUFACTURER SHALL VERIFY WITH ARCHITECT AND MECHANICAL CONTRACTOR SIZE, LOCATION & SUPPORT OF MECHANICAL UNITS. TRUSS FRAMING AND TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED BY TRUSS MANUFACTURER AND COORDINATED W/ STRUCTURAL STEEL CONTRACTOR.
  - TRUSS TOP CHORD MUST BE BRACED WITH ROOF SHEATHING OR CONTINUOUS LATERAL BRACING AT 3'-0" O.C. BOTTOM CHORD MUST BE BRACED WITH A RIGID CEILING OR CONTINUOUS BRACING AT 10'-0" O.C. PLYWOOD SHEATHING SHALL BE NAILED OR SCREWED TO TRUSS MEMBERS AT 6" O.C. MAXIMUM SPACING.
  - DESIGN OF THE LUMBER AND CONNECTOR PLATES FOR TRUSSES SHALL BE IN ACCORDANCE WITH LATEST TRUSS PLATE INSTITUTE (TPI) REQUIREMENTS.
  - UNLESS OTHERWISE NOTED, PROVIDE 2-2x8 HEADER FOR OPENINGS IN STUD WALLS FOR SPANS UP TO 3'-0" MAXIMUM.

SECTIONS, DETAILS, & NOTES

PROJECT NO. 1603  
SHEET NO. S-4  
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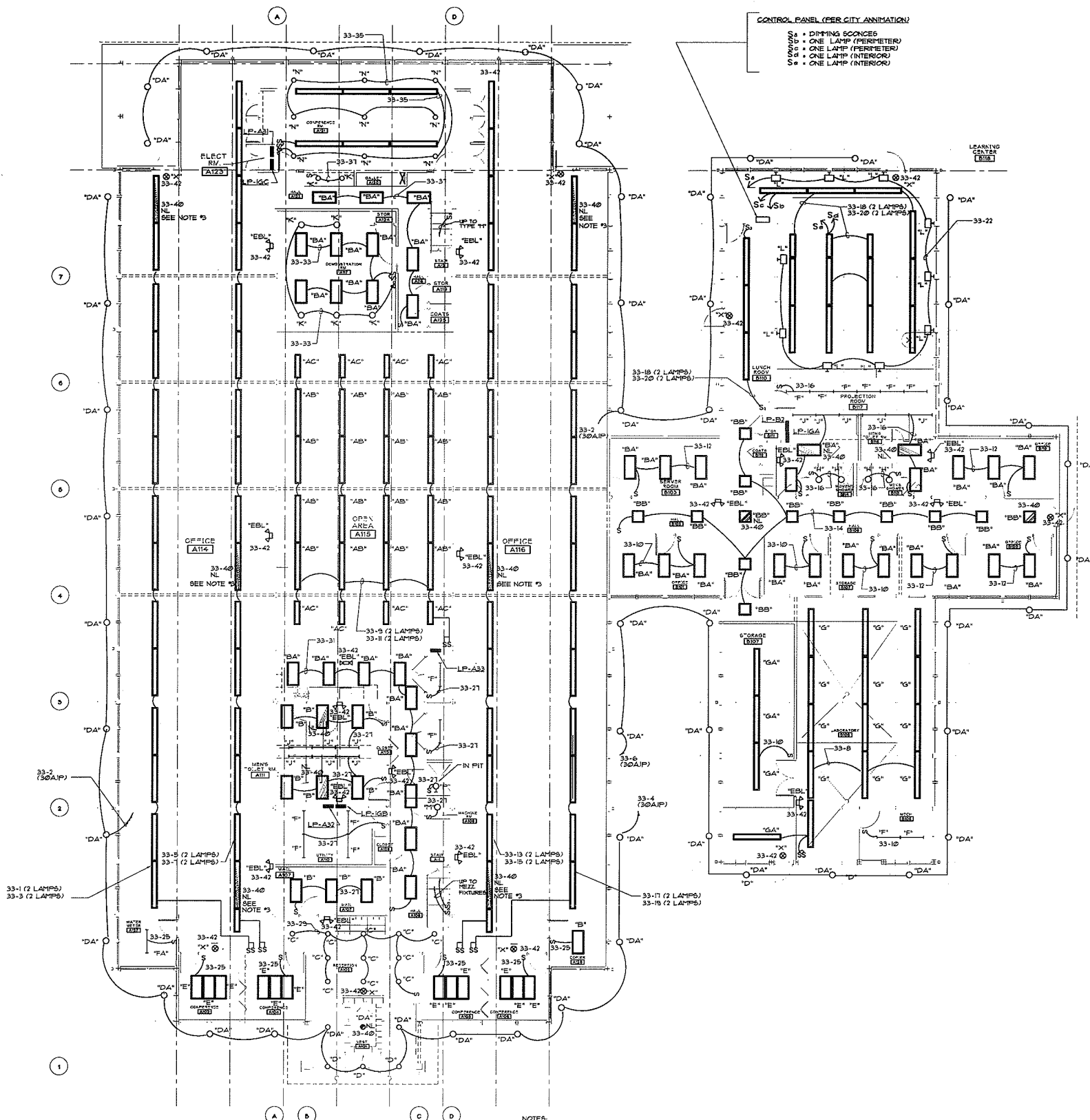
FORESTCOVE OFFICE PARK  
ANN ARBOR, MICHIGAN



**WEST MEZZANINE FLOOR PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"

NOTES:  
1. ALL LIGHTING FIXTURES ARE TYPE "A" UNLESS NOTED OTHERWISE.

**EAST MEZZANINE FLOOR PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"



NOTES:  
1. ALL LIGHTING FIXTURES ARE TYPE "A" UNLESS NOTED OTHERWISE.  
2. PROVIDE TWO ADDITIONAL EMERGENCY LIGHTING FIXTURES AND TWO ADDITIONAL EXIT LIGHT FIXTURES IN BASE BID TO BE INSTALLED AS DIRECTED.  
3. CONNECT ONLY ONE BALLAST (2 LAMPS) ON NL CIRCUIT.  
SS - INDICATES TWO LEVEL SWITCHING. CONNECT BALLASTS IN EACH FIXTURE TO RESPECTIVE LEVEL SWITCH.

**FIRST FLOOR PLAN - LIGHTING**  
SCALE: 1/8" = 1'-0"

CONTROL PANEL (PER CITY ANIMATION)  
S = DIMMING SCENES  
L = ONE LAMP (PERIMETER)  
L = ONE LAMP (PERIMETER)  
L = ONE LAMP (INTERIOR)  
L = ONE LAMP (INTERIOR)

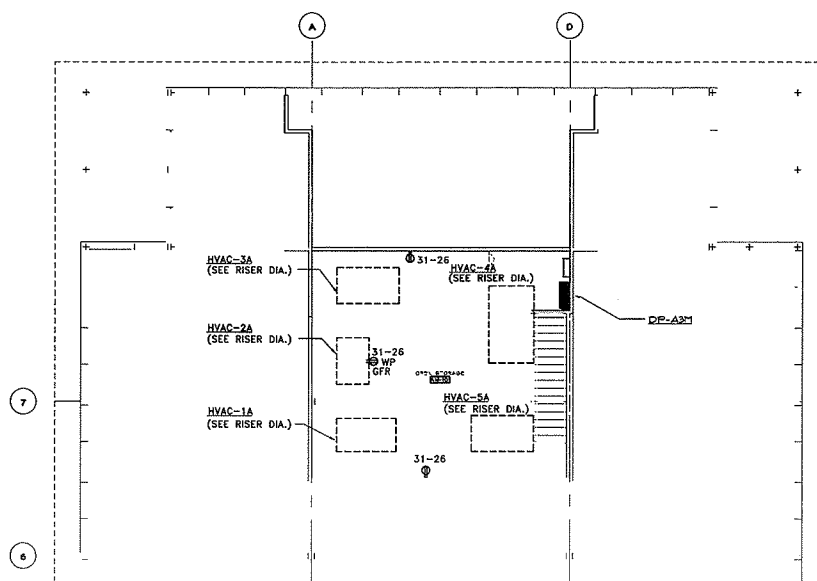
MANCINI ALKATEER & ASSOCIATES, INC.  
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS  
300 N. LAKE STREET, SUITE 200  
ANN ARBOR, MICHIGAN 48106  
PHONE: (313) 963-1000  
FAX: (313) 963-1001  
E-MAIL ADDRESS: MANCINI@A&A.COM

FLOOR PLANS - LIGHTING  
DRAWN: [ ]  
CHECKED: [ ]  
PROJECT NO.: [ ]  
DATE: [ ]  
SHEET NO.: [ ]

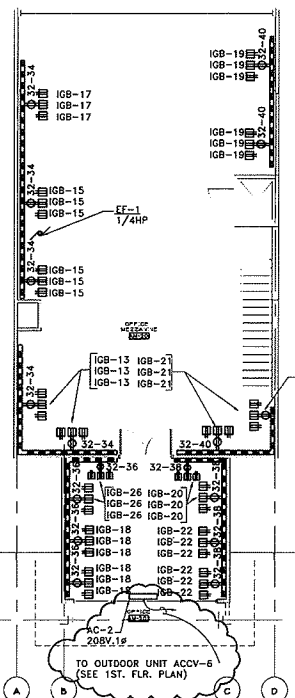
FORESTCOVE OFFICE PARK  
ANN ARBOR MICHIGAN

PROJECT NO. 1603  
SHEET NO. E-1  
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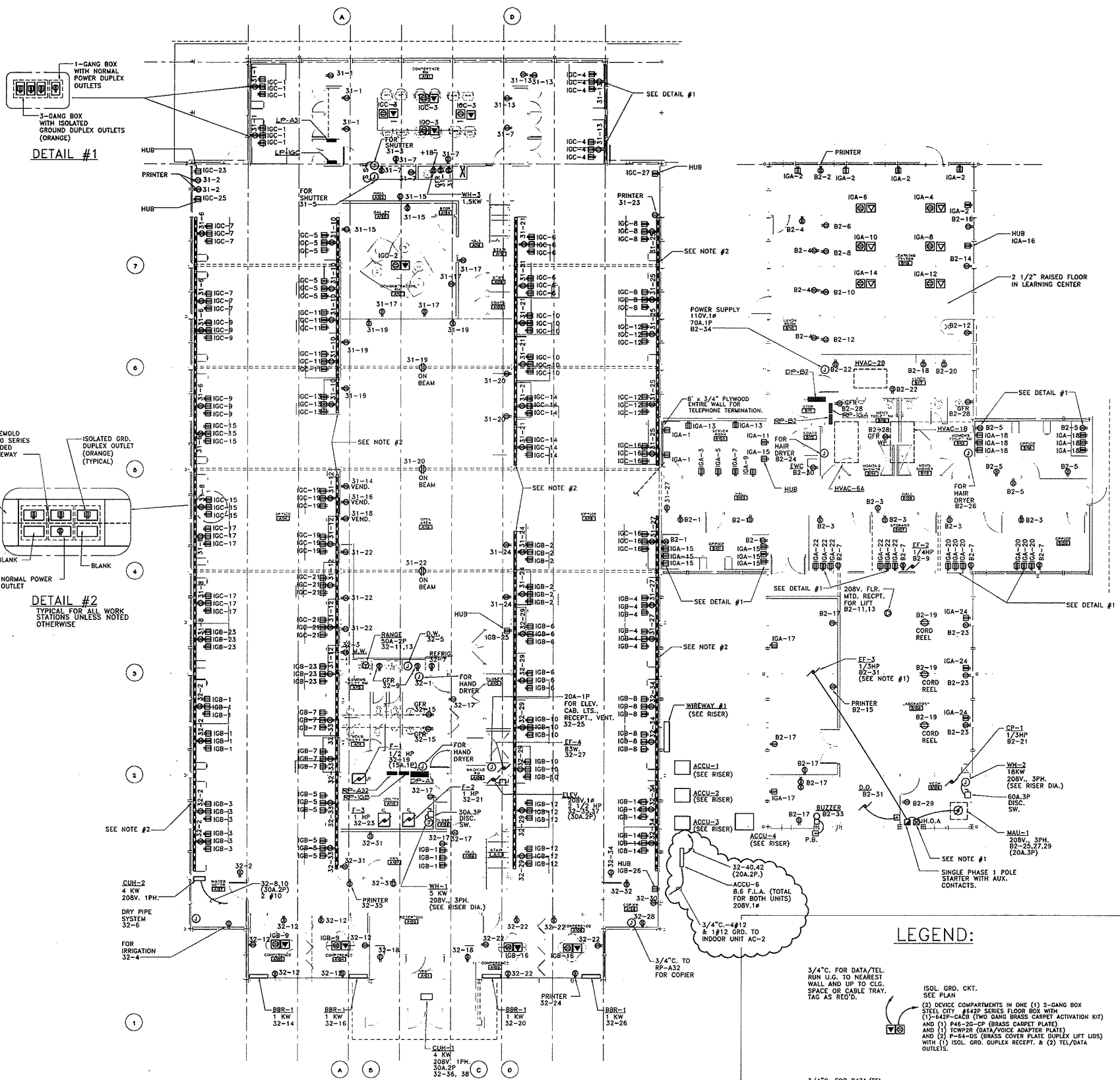
M.A.A. 401001, PLOT FOR YOUR USE, DATE OF PLOT 1/10/99, CHANGE MADE ON: [ ] BY: BLD  
SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC  
SUITE 261, 31731 NORTHWESTERN HWY., FARMINGTON HILLS, MI 48334, 248/851-3325



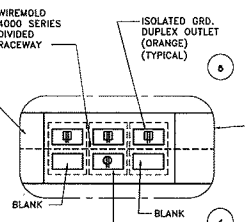
**WEST MEZZANINE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**EAST MEZZANINE FLOOR PLAN - POWER**  
SCALE: 1/8" = 1'-0"



**DETAIL #1**  
1-GANG BOX WITH NORMAL POWER DUPLEX OUTLETS  
3-GANG BOX WITH ISOLATED GROUND DUPLEX OUTLETS (ORANGE)



**DETAIL #2**  
TYPICAL FOR ALL WORK STATIONS UNLESS NOTED OTHERWISE

**LEGEND:**

- 3/4" FOR DATA/TEL. RUN U.G. TO NEAREST WALL AND UP TO CLG. SPACE OR CABLE TRAY. TAG AS REQ'D.
- ISOL. GRD. CKT. SEE PLAN
- COMB DATA BOX OUTLETS IN 2 1/2" RAISED FLOOR. (2) DEVICE COMPARTMENTS IN ONE (1) 3-GANG BOX STEEL CITY #442P SERIES FLOOR BOX WITH (1) P-442P-CA2 (TWO GANG BRASS CARPET FLANGE) AND (1) P-442P-CP (BRASS CARPET PLATE) AND (1) TWP2R (DATA/VOICE ADAPTER PLATE) AND (1) P-442P-IG (BRASS COVER PLATE DUPLEX LIFT LIDS) WITH (1) ISOL. GRD. DUPLEX RECEPT. & (2) TEL/DATA OUTLETS.
- ISOL. GRD. CKT. SEE PLAN
- COMB DATA BOX OUTLETS IN 2 1/2" RAISED FLOOR. (2) DEVICE COMPARTMENTS IN ONE (1) 3-GANG BOX WALKER #8042 BOX WITH #827C (TWO GANG BRASS CARPET FLANGE) AND (1) #828 (BRASS COVER PLATE) AND (1) #825 (BRASS DATA/VOICE COVER PLATE) WITH (1) ISOL. GRD. DUPLEX RECEPT. & (2) TEL/DATA OUTLETS.
- 0-4000 DIVIDED WIREWAY. SEE ARCHITECTURAL DETAIL FOR LOCATION ON WALL

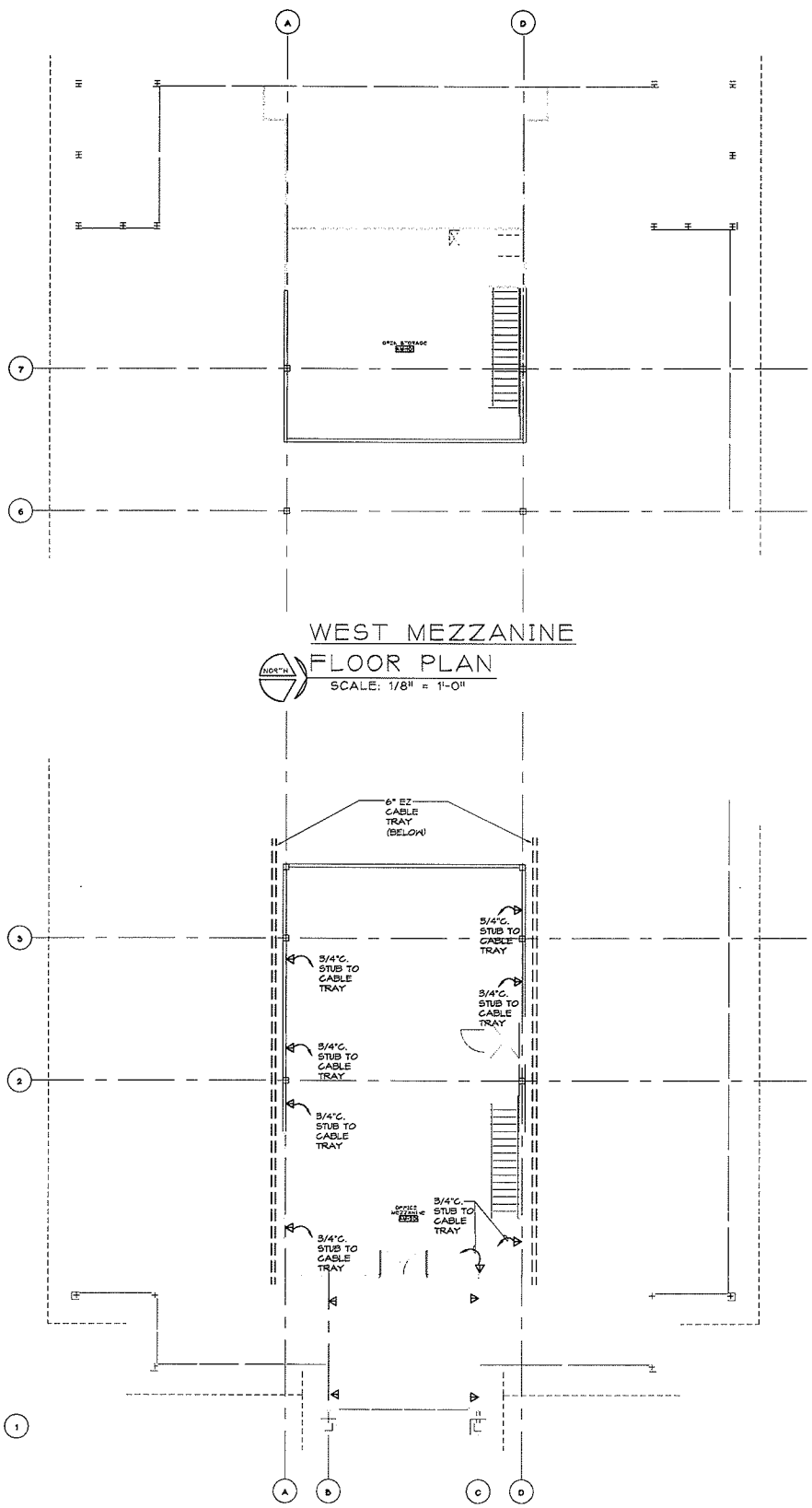
- NOTES:**
1. INTERLOCK OF HUB AND EF-3 BY TEMP. CONTROL
  2. USE 3/4" TO FEED NORMAL CIRCUITS IN WIREWAY AND SEPARATE 3/4" FOR ISOLATED DEDICATED CIRCUITS.

MANCINI ALKATEER & ASSOCIATES, INC.  
 MECHANICAL ELECTRICAL PLUMBING  
 300 WEST WASHINGTON STREET, SUITE 200  
 ANN ARBOR, MICHIGAN 48106  
 TEL: 313.963.8800 FAX: 313.963.8801  
 WWW: WWW.MANCINI-ALKATEER.COM

**FLOOR PLANS - POWER**  
 PROJECT NO. 1603  
 SHEET NO. E-2  
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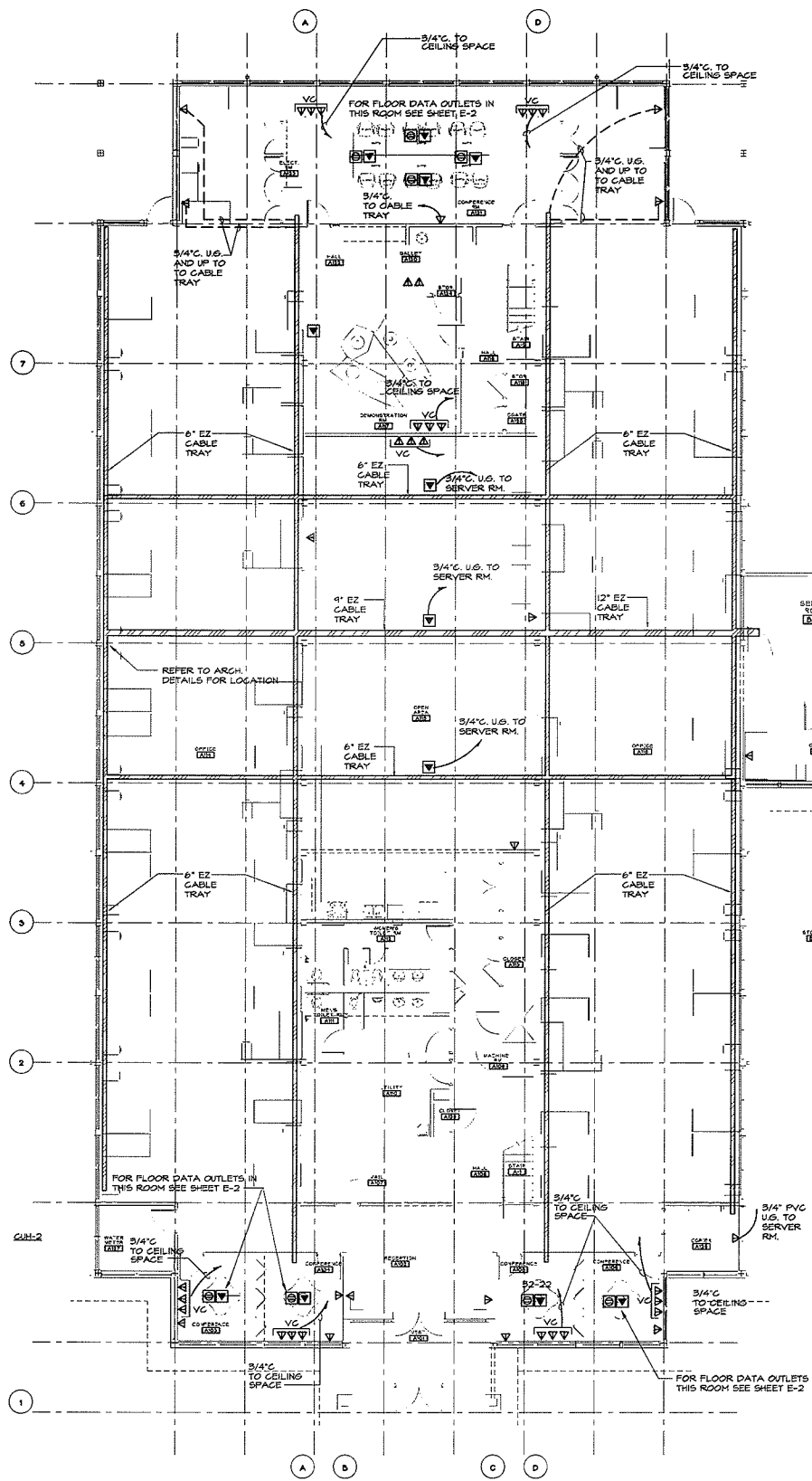
**FORESTCOVE OFFICE PARK**  
 ANN ARBOR MICHIGAN

MAA 401003 - FLOOR PLAN FOR YOUR USE, DATE OF PLOTS 09/99  
 CHANGE MADE ON: 07/11/00  
 SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.  
 SUITE 261 - 31751 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-5375

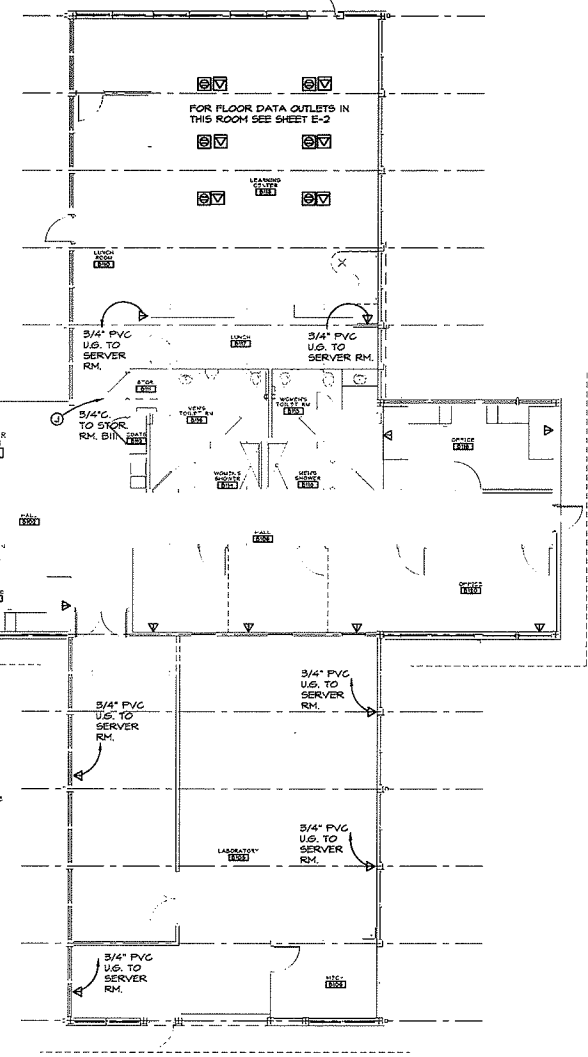


**WEST MEZZANINE  
FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**EAST MEZZANINE  
FLOOR PLAN -  
VOICE/DATA RACEWAYS  
& OUTLETS**  
SCALE: 1/8" = 1'-0"



**FLOOR PLAN -  
VOICE/DATA RACEWAYS  
& OUTLETS**  
SCALE: 1/8" = 1'-0"



- NOTES:**
1. PROVIDE TWO (2) CAT. 5 CABLES FROM EACH HUB TO SERVER ROOM. EXACT LOCATION AS DIRECTED.
  2. OUTLETS ROUTING TO DESIGNATED HUBS SHALL BE SUBJECT TO OWNER'S APPROVAL. VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.

- LEGEND**
- ▷ VOICE/DATA OUTLETS WALL MTD. AT 24" AFF CONSISTING OF 4" SQUARE BOX W/ 2-GANG PLASTER RING AND NO COVER PLATE. PROVIDE 3/4" PVC FOR EACH OUTLET TO CEILING SPACE UNLESS NOTED OTHERWISE.
  - ▽ SEE DRAWING E-2.
  - ▽ FLUSH VOICE/DATA FLOOR OUTLET CONSISTING OF ONE GANG FLOOR BOX WALKER #880CSI BOX WITH (1)-8TIC (ONE GANG CARPET FLANGE) AND (1)-D2RS (COVER PLATE)
  - ▽ 3 GANG BOXES FOR VIDEO CONFERENCE, NO COVER PLATE. VERIFY MOUNTING HEIGHT WITH OWNER.

3/4" PVC FOR DATA/TEL. RUN U.S. TO NEAREST WALL, AND UP TO CLG. SPACE OR NEAREST CABLE TRAY. TAG AS REQUIRED.

**MANCINI, ALKATEEB & ASSOCIATES, INC.**  
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS  
3000 WOODLAND AVENUE, SUITE 200  
ANN ARBOR, MICHIGAN 48106  
PHONE: 734.769.8800  
FAX: 734.769.8801  
E-MAIL ADDRESS: MANCINI@MCAINC.COM

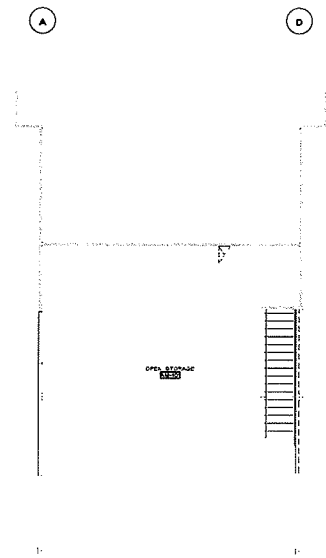
**VOICE/DATA RACEWAYS & OUTLETS**

PROJECT NAME: FORESTCOVE OFFICE PARK  
PROJECT LOCATION: ANN ARBOR, MICHIGAN  
PROJECT NO.: 1603  
SHEET NO.: E-3  
DATE: 10/20/01

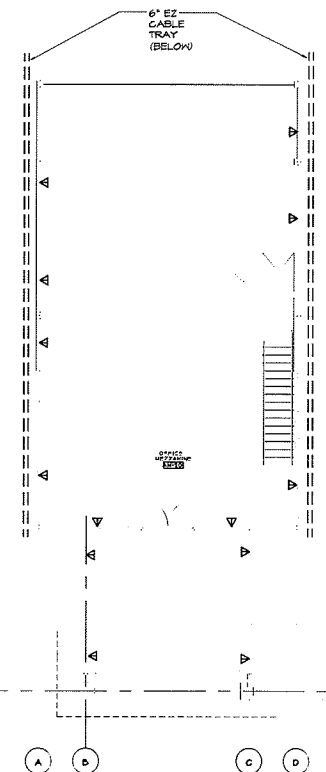
**FORESTCOVE  
OFFICE PARK  
ANN ARBOR  
MICHIGAN**

PROJECT NO. 1603  
SHEET NO. E-3  
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ARCHITECTS AND PLANNERS INC.**  
SUITE 201 • 31751 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/851-3325



**WEST MEZZANINE  
FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**EAST MEZZANINE  
FLOOR PLAN -  
COMMUNICATION SYSTEM  
& CABLING REQUIREMENTS**  
SCALE: 1/8" = 1'-0"

THIS DRAWING IS "NOT IN CONTRACT"  
FOR OWNERS USE ONLY.



**FLOOR PLAN -  
COMMUNICATION SYSTEM  
& CABLING REQUIREMENTS**  
SCALE: 1/8" = 1'-0"

- NOTES:**
- PROVIDE TWO (2) CAT. 5 CABLES FROM EACH HUB TO SERVER ROOM. EXACT LOCATION AS DIRECTED.
  - OUTLETS ROUTING TO DESIGNATED HUBS SHALL BE SUBJECT TO OWNER'S APPROVAL. VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.

- LEGEND**
- ▷ VOICE/ DATA OUTLETS PROVIDED BY ELECTRICAL CONTRACTOR. CABLE CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 DATA CABLE FROM EACH OUTLET TO NEAREST HUB OR AS DIRECTED BY OWNER. ALSO CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 VOICE CABLE FROM EACH OUTLET TO TELEPHONE BACKBOARD IN SERVER ROOM AND PROVIDE IVORY COLOR PLATE WITH TWO (2) RJ-45 JACKS AND (2) RJ-45 SLOTS FOR FUTURE USE.
  - ✓ FLUSH VOICE/ DATA FLOOR OUTLET IN RAISED FLOOR BY ELECTRICAL CONTRACTOR. CABLE CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 DATA CABLE FROM EACH OUTLET TO NEAREST HUB OR AS DIRECTED BY OWNER. ALSO CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 VOICE CABLE FROM EACH OUTLET TO TELEPHONE BACKBOARD IN SERVER ROOM AND PROVIDE IVORY COLOR PLATE WITH TWO (2) RJ-45 JACKS AND (2) RJ-45 SLOTS FOR FUTURE USE.
  - ▽ (B) DATA OUTLETS FOR VIDEO CONFERENCING. PROVIDE 2 - CAT 5 CABLES FOR EACH OUTLET. SEE E-3 FOR OUTLETS AND CONDUIT RUNS.

**MANCINI, ALKATEEB & ASSOCIATES, INC.**  
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS  
3001 W. BROADWAY, SUITE 200  
ANN ARBOR, MICHIGAN 48106  
PHONE: 734.769.8800  
FAX: 734.769.8801  
WWW.MANCINI-ALKATEEB.COM

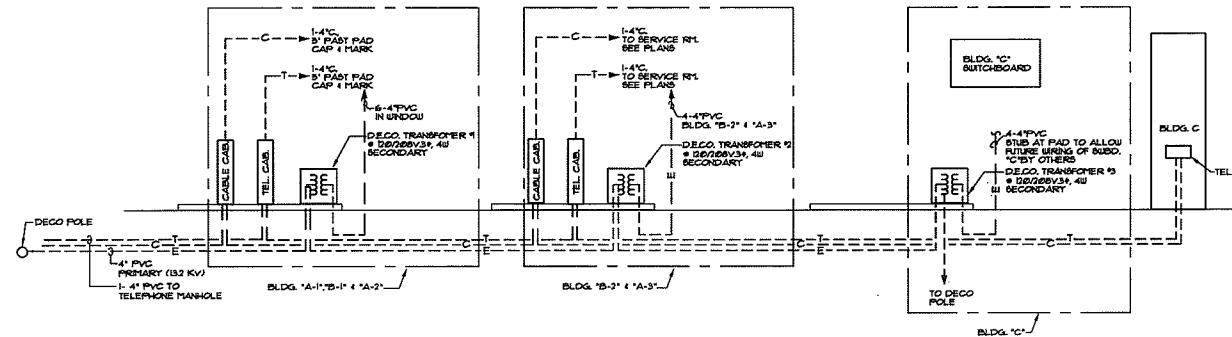
**COMMUNICATION SYSTEM CABLING REQUIREMENTS**  
DRAWN: \_\_\_\_\_  
PROJECT NO.: \_\_\_\_\_  
PROJECT LOCATION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: \_\_\_\_\_ OF \_\_\_\_\_

**FORESTCOVE  
OFFICE PARK  
ANN ARBOR  
MICHIGAN**

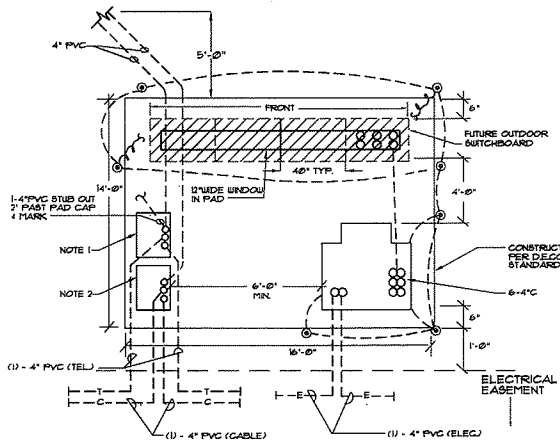
PROJECT NO. \_\_\_\_\_  
**1603**  
SHEET NO. \_\_\_\_\_  
**E-4**  
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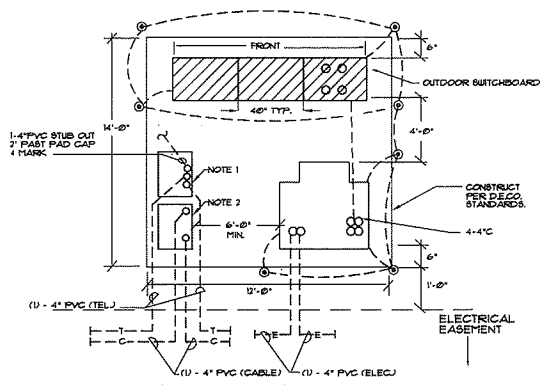




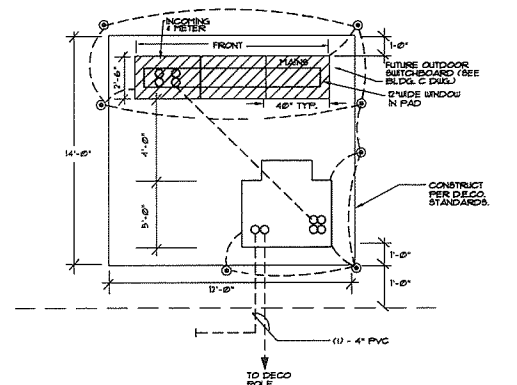
ELECTRICAL SERVICE DIAGRAM  
NO SCALE



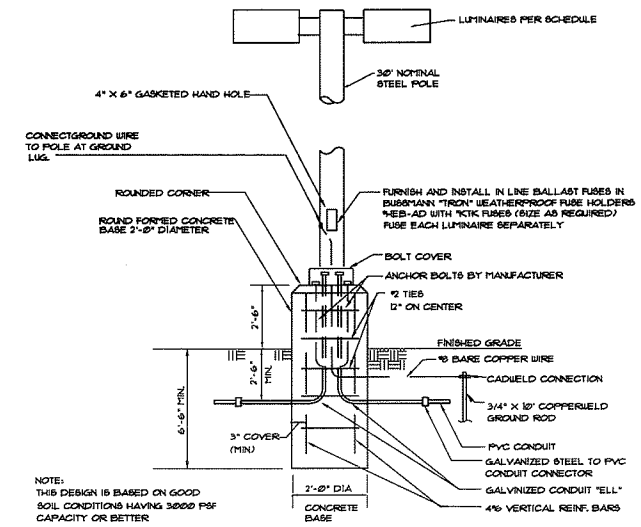
ELECTRICAL SERVICE PAD FOR  
BLDG. "A-1", "B-1" & "A-2"  
(TYPICAL)  
NO SCALE



ELECTRICAL SERVICE PAD FOR  
BLDG. "B-2" & "A-3"  
(TYPICAL)  
NO SCALE



ELECTRICAL SERVICE PAD FOR BLDG. "C"  
(TYPICAL)  
NO SCALE



SITE LIGHTING FIXTURE  
NOT TO SCALE

CONTACTOR SCHEDULE				
CONTACTOR	CIRCUITS CONTROLLED	SIZE	USE	CONTROLLED BY
C1	60A-3P BRKR HI-313941	60A-3P	SITE LIGHTING	PHOTO CELL "ON" TIME SW. "OFF"

SITE LIGHTING FIXTURE SCHEDULE

- TYPE "SA" OUTDOOR LIGHTING FIXTURE CONSISTING OF REINFORCED CONCRETE BASE, 30\"/>

TYPE "SB" SAME AS "SA" EXCEPT WITH (2) LUMINAIRES AT 180 DEGREES  
EMCO #ECA-18-2-3H-400W-208-BRP

TYPE "SC" SAME AS "SB" EXCEPT FORWARD THROW OPTICAL ASSEMBLIES  
EMCO #ECA-18-2-3H-400W-208-BRP

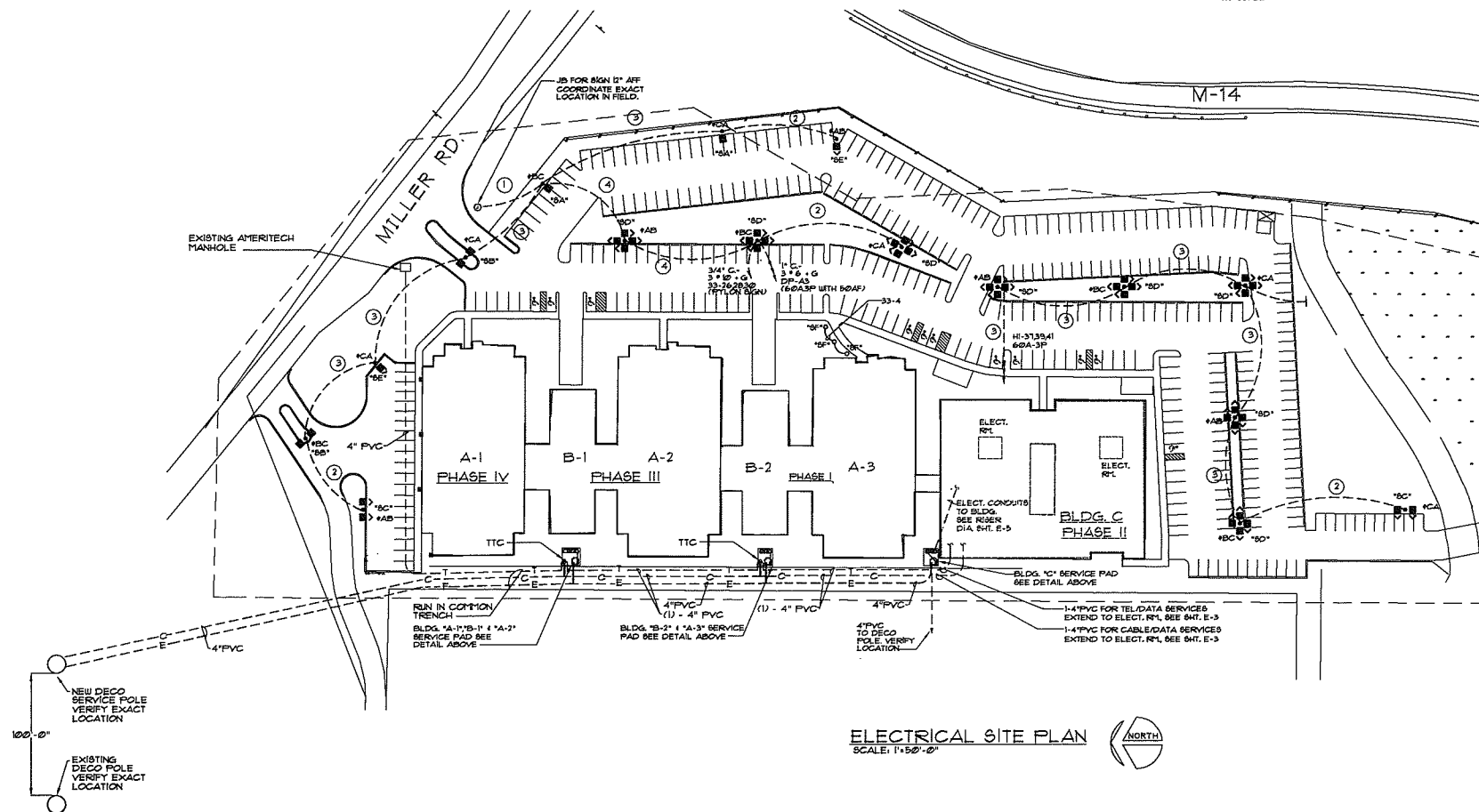
TYPE "SD" SAME AS "SC" EXCEPT WITH (4) LUMINAIRES AT 90 DEGREES

TYPE "SE" SAME AS "SA" EXCEPT WITH FORWARD THROW DISTRIBUTION  
EMCO #ECA-18-1-FH-400W-208-BRP

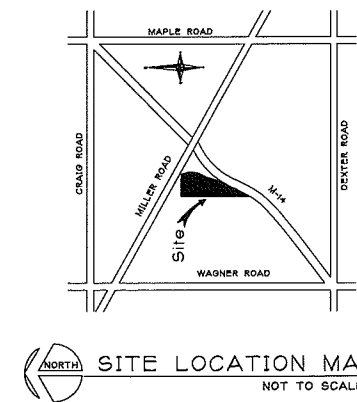
TYPE "SF" METAL HALIDE BOLLARD FIXTURE WITH 100W METAL HALIDE LAMP CONE ROUND REFLECTOR AND FUSES.  
EMCO #BRB-C-100MH-120-BLP-F

NOTES:  
1. 48"X36"X8" CABINET HOFFMAN #A48H360BALLP MOUNT ON UNISTRUT SUPPORT.  
2. 30"X24"X8" CABINET HOFFMAN #A30H240BALLP MOUNT ON UNISTRUT SUPPORT.

WIRE LEGEND	
①	3/4" PVC - 3 #0 - #0 GRD.
②	1" PVC - 2 #6 - #0 GRD.
③	1 1/2" PVC - 3 #6 - #0 GRD.
④	1 1/2" PVC - 3 #6 - #0 GRD. (SITE LIGHTING) 3 #0 - #0 GRD. (FOR SIGN)



ELECTRICAL SITE PLAN  
SCALE: 1"=50'-0"



SITE LOCATION MAP  
NOT TO SCALE

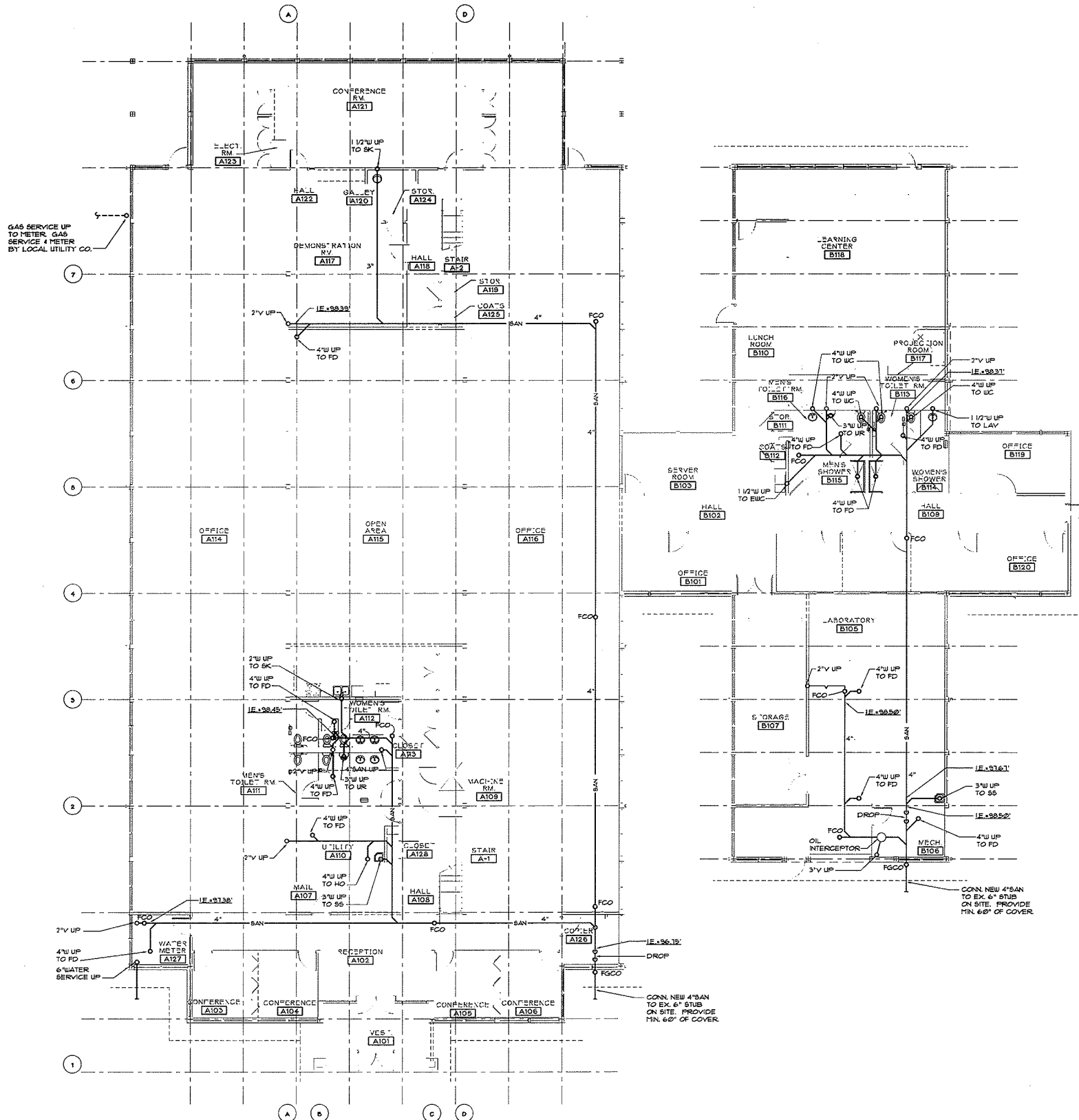
MANON, ALKATEEB & ASSOCIATES, INC.  
 1000 W. WISCONSIN AVENUE, SUITE 200  
 WILSON, WISCONSIN 53190  
 TEL: 414-251-1111 FAX: 414-251-1112  
 WWW: WWW.MANONALKATEEB.COM

ELECTRICAL SITE PLAN

PROJECT NO. FORESTCOVE OFFICE PARK  
 PROJECT LOCATION ANN ARBOR MICHIGAN

PROJECT NO. 1603  
 SHEET NO. SE-1  
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MAA 4810661, PLOT FOR BIDS, DATE OF PLOT: 11/27/99  
 CHANGE MADE ON: 11/29/99, BY: RP  
 SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.  
 SUITE 201 - 31751 NORTHWESTERN HWY., FARMINGTON HILLS, MI 48334 - 248/651-5325



GAS SERVICE UP TO METER, GAS SERVICE 4 METER BY LOCAL UTILITY CO.

**UNDERGROUND PLAN - PLUMBING**  
 FINISHED FLOOR ELEVATION = 100.00' SCALE 1/8" = 1'-0"

**MANCINI ALKATEEB & ASSOCIATES, INC.**  
 MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERS  
 3800 HUNTERS HILL ROAD, SUITE 200  
 FARMINGTON HILLS, MICHIGAN 48334  
 PHONE: 248-851-3323 FAX: 248-851-3324  
 WWW.MANCINI-ALKATEEB.COM EMAIL ADDRESS: MANCINI@MANNING.COM

**UNDERGROUND PLAN - PLUMBING**

PROJECT NAME: FORESTCOVE OFFICE PARK  
 PROJECT LOCATION: ANN ARBOR MICHIGAN

DATE: 08/11/11  
 DRAWN BY: J. J. JONES  
 CHECKED BY: J. J. JONES  
 DATE: 08/11/11  
 SCALE: GENERAL NOTE

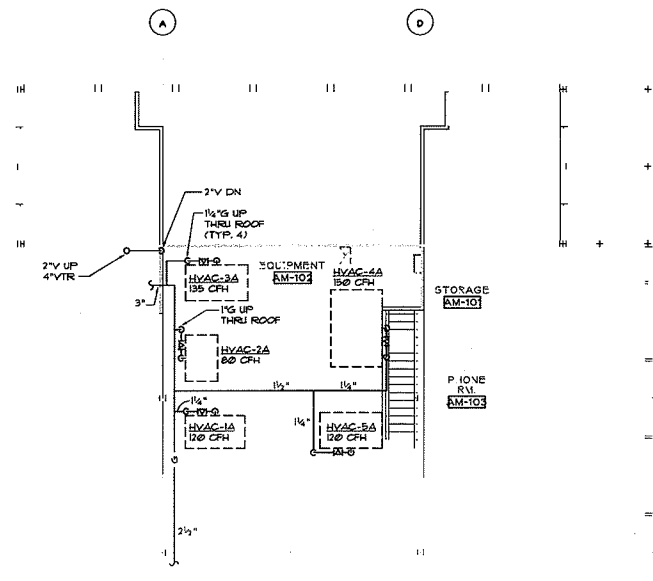
PROJECT NAME: FORESTCOVE OFFICE PARK  
 PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO.: 1603  
 SHEET NO.: M-1  
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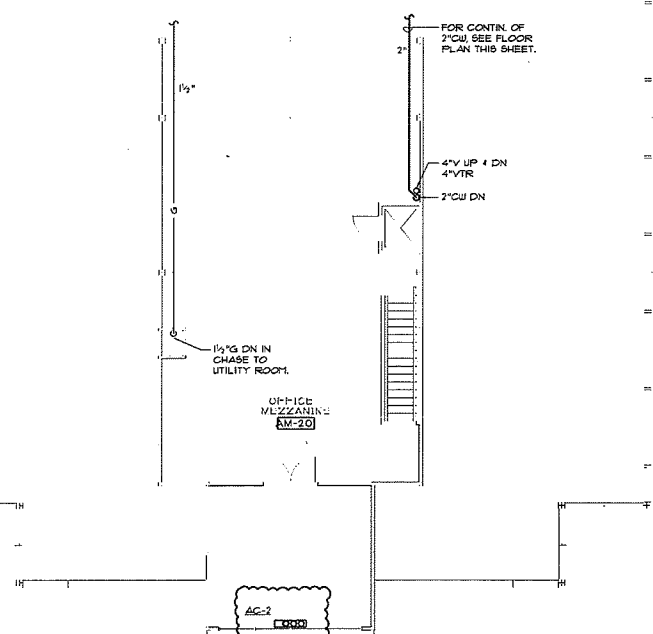
MAA 4810211, PLOT FOR: BID5, DATE OF PLOT: 1/1999, CHANGE MADE ON: BY: PB  
 SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC  
 SUITE 251 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3323

INFORMATION: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN MECHANICAL, ELECTRICAL AND PLUMBING CODES. 3. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 9. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. 10. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

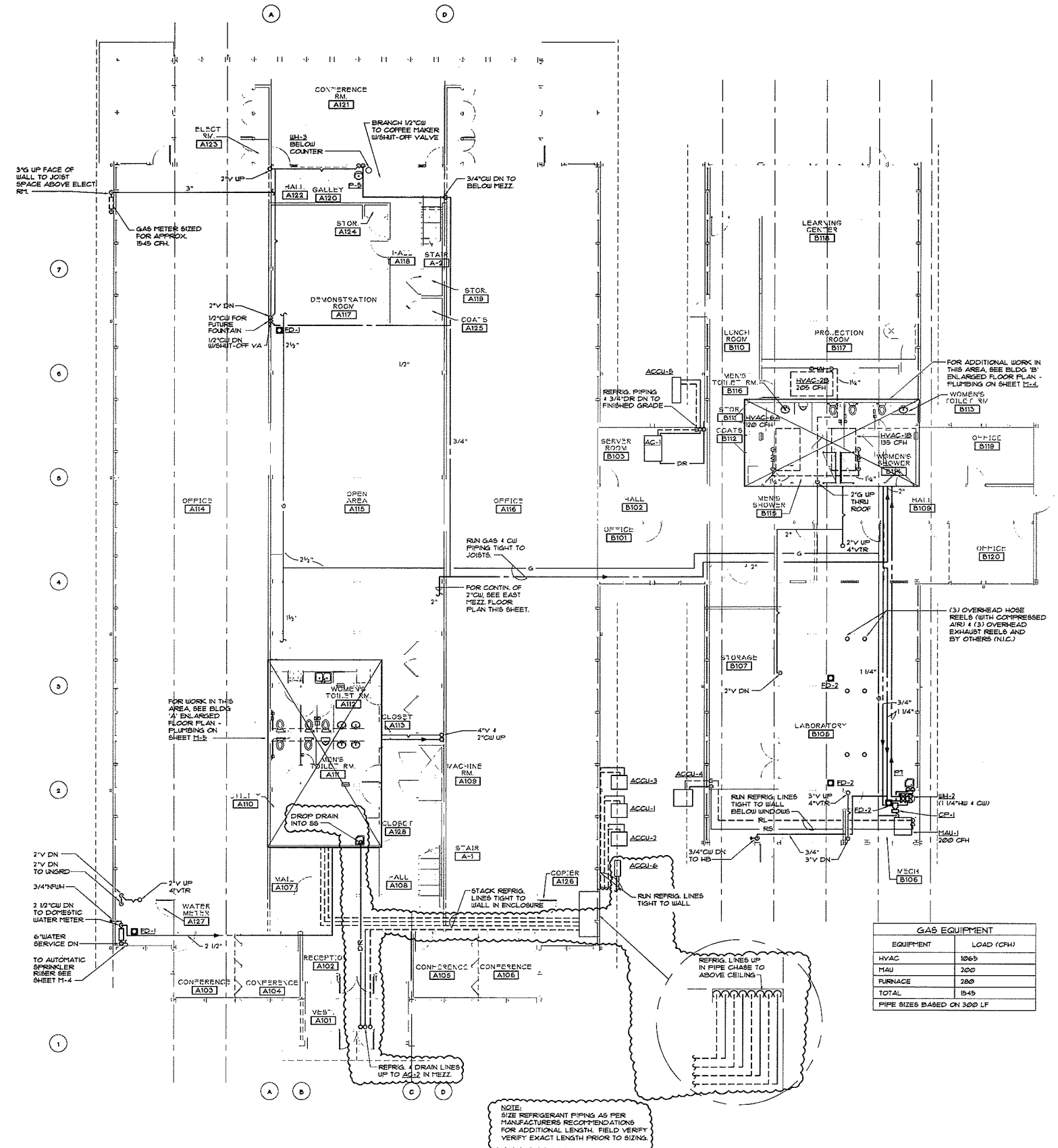




**WEST MEZZANINE FLOOR PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"



**EAST MEZZANINE FLOOR PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"



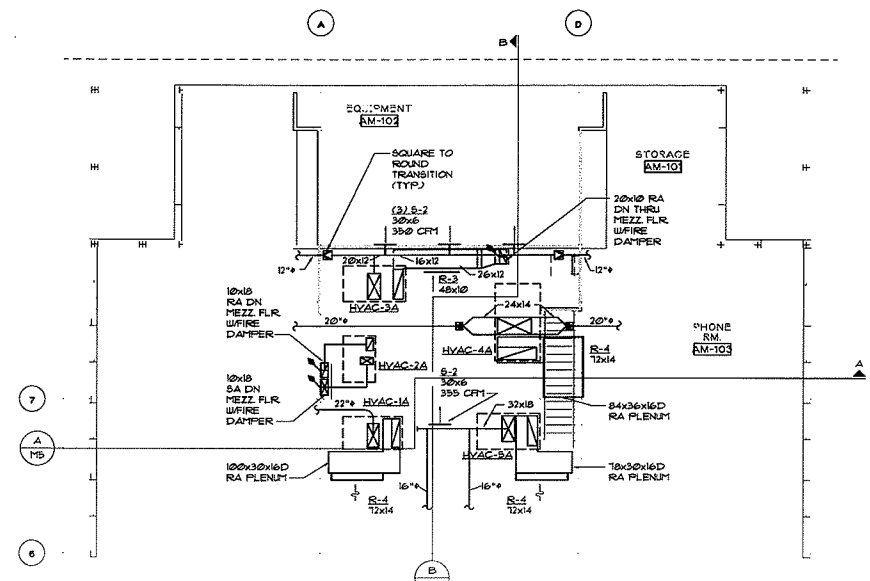
**FLOOR PLAN - PLUMBING**  
SCALE: 1/8" = 1'-0"

MANCINI ALKATEER & ASSOCIATES, INC.  
MECHANICAL ELECTRICAL CONSULTING ENGINEERS  
3000 W. GRAND AVENUE, SUITE 200  
ANN ARBOR, MICHIGAN 48106  
PHONE: 734.769.8800  
FAX: 734.769.8801  
WWW.MANCINI-ALKATEER.COM

**FLOOR PLAN - PLUMBING**

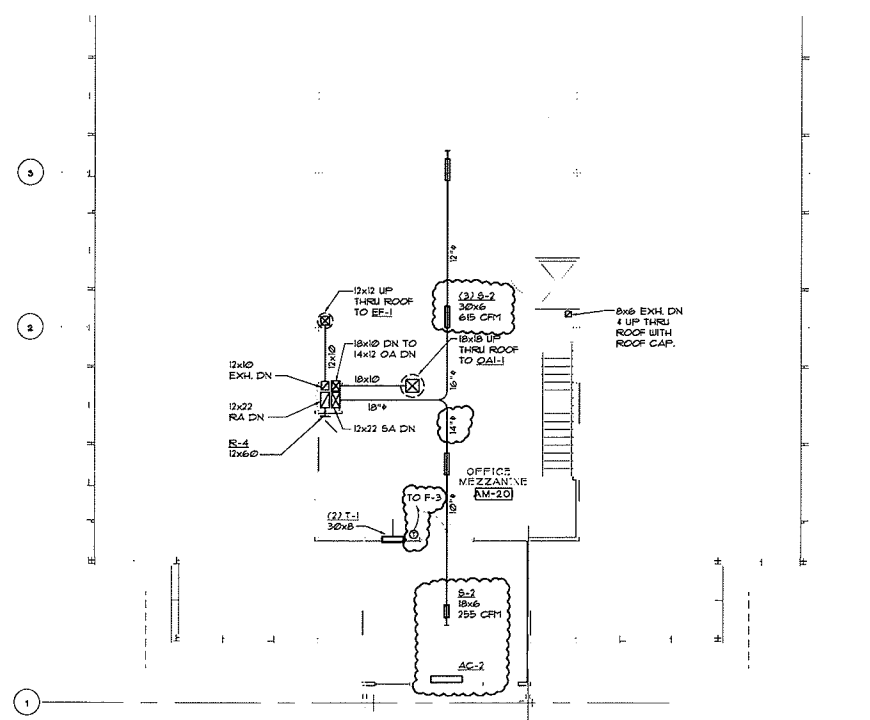
PROJECT NAME: FORESTCOVE OFFICE PARK  
PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO. 1603  
SHEET NO. M-2  
DATE: 11/13/19



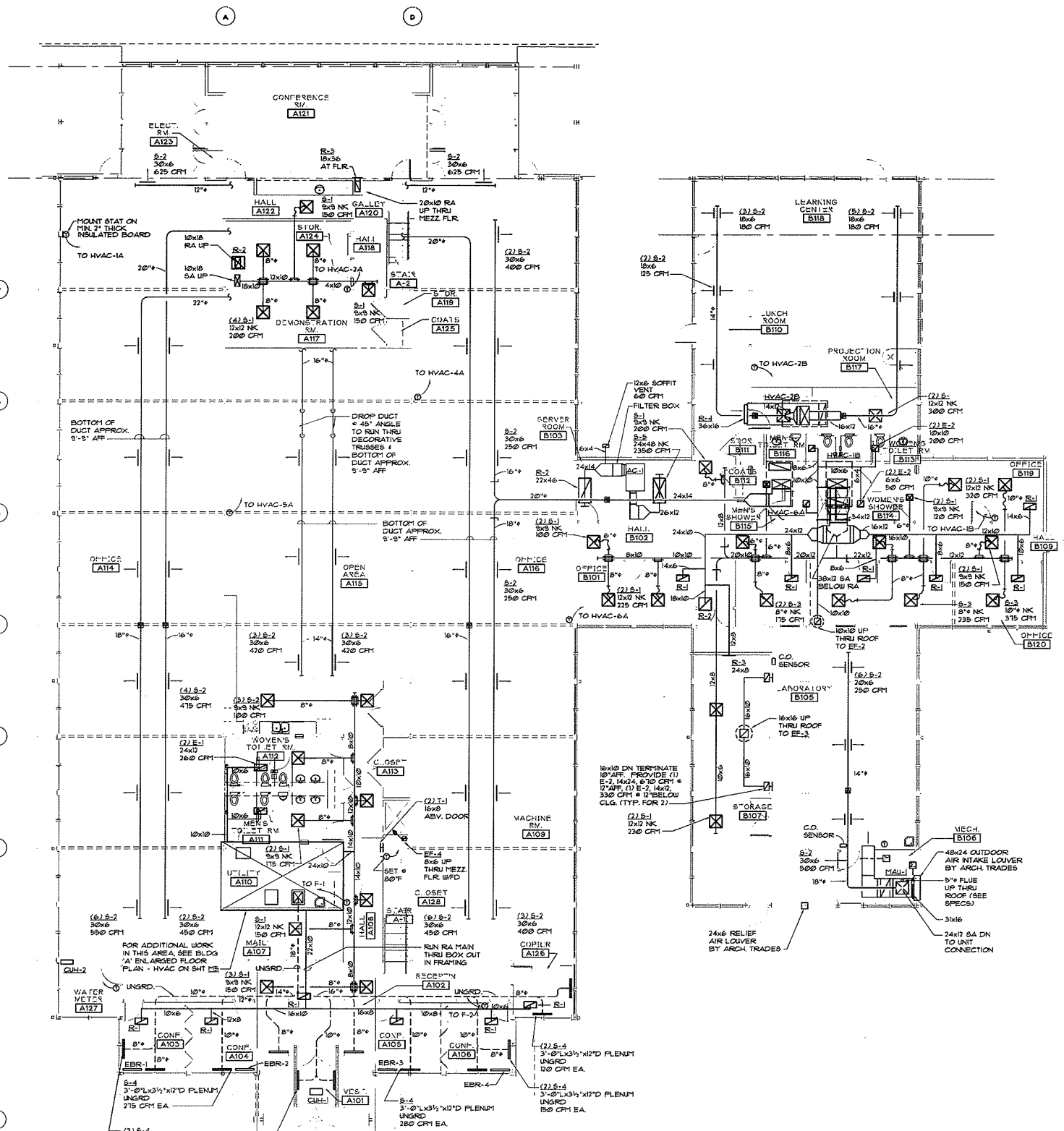
WEST MEZZANINE FLOOR PLAN - HVAC  
SCALE: 1/8" = 1'-0"

NOTE:  
BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ FLOOR.



EAST MEZZANINE FLOOR PLAN - HVAC  
SCALE: 1/8" = 1'-0"

AIR CONDITIONER (AC-1 + AC21-6) SHALL BE SIMILAR TO SANYO MODEL 18F42U1 TO DELIVER 16.0 TON COOLING CAP. + 11.6 TON HEATING CAP. + 208V/1N, 30A MAX. FUSE, 440 CFM.



FLOOR PLAN - HVAC  
SCALE: 1/8" = 1'-0"

NOTE:  
PROVIDE MIN. 3" OF COVER FOR UNGRD. DUCTWORK AND FITCH BACK TO UNIT.

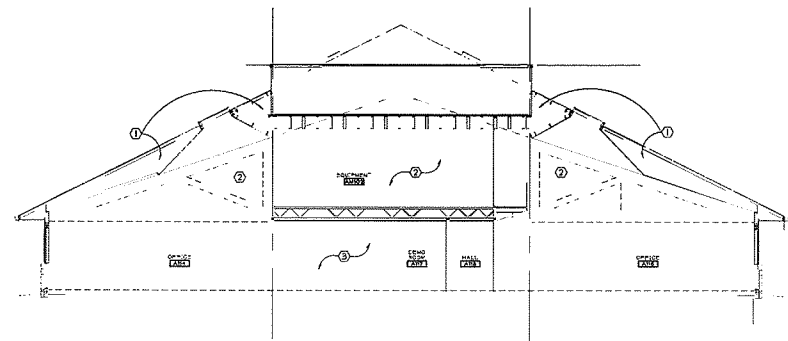
MANCINI, ALKATEEB & ASSOCIATES, INC.  
ARCHITECTS AND PLANNERS  
3000 WESTLAND AVENUE, SUITE 200  
ANN ARBOR, MICHIGAN 48106  
PHONE: 734.769.1234  
FAX: 734.769.1235  
WWW: WWW.MANCINI-ALKATEEB.COM

FLOOR PLAN - HVAC  
DRAWN: [ ]  
CHECKED: [ ]  
PROJECT NO.: [ ]  
DATE: [ ]

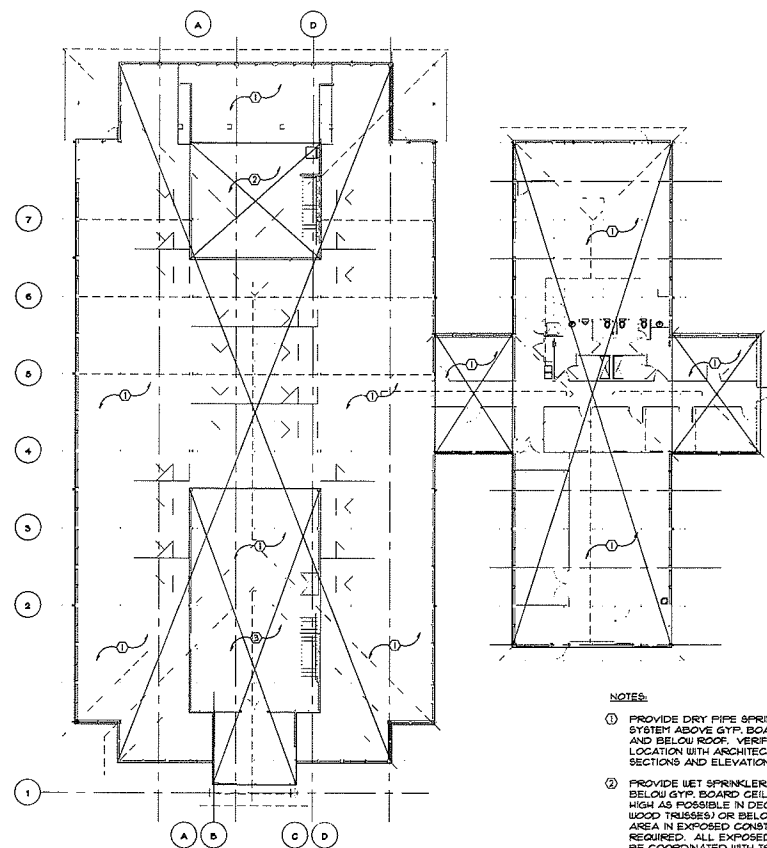
PROJECT NAME:  
FORESTCOVE  
OFFICE PARK  
PROJECT LOCATION:  
ANN ARBOR  
MICHIGAN

PROJECT NO.:  
1603  
SHEET NO.:  
M-3  
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DATE OF PLOT: 3/1/99  
CHANGE MADE ON: [ ]  
SIEGAL/TUOMALA ASSOCIATES  
ARCHITECTS AND PLANNERS INC.  
SUITE 201 - 31731 NORTHWESTERN HWY., FARMINGTON HILLS, MI 48334 - 248/851-3325



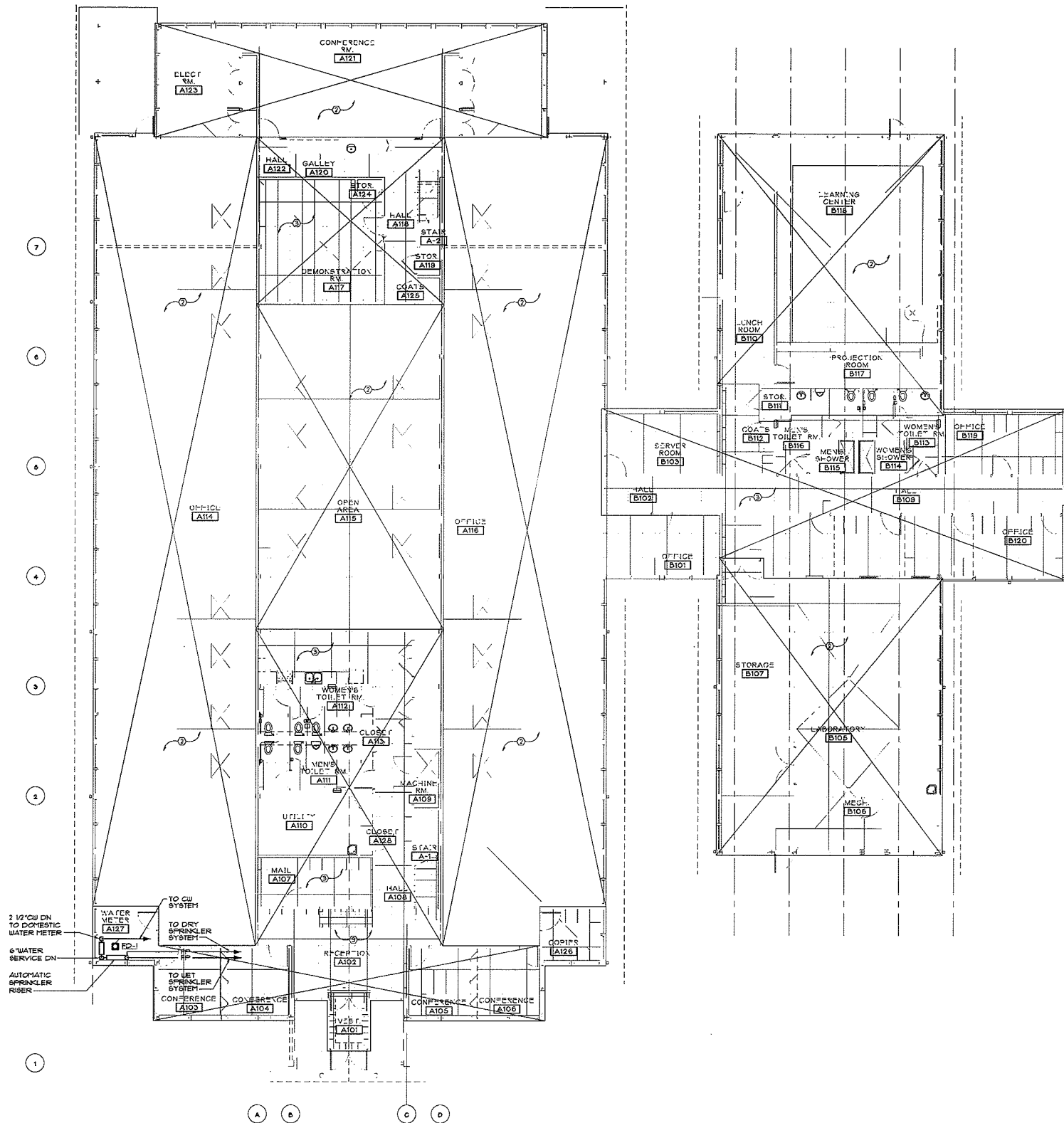
BUILDING SECTION  
SCALE: 1/8" = 1'-0"



ROOF PLAN - FIRE PROTECTION  
SCALE: 1/8" = 1'-0"

NOTES:

- 1 PROVIDE DRY PIPE SPRINKLER SYSTEM ABOVE GYP. BOARD CEILING AND BELOW ROOF. VERIFY EXACT LOCATION WITH ARCHITECTURAL SECTIONS AND ELEVATIONS.
- 2 PROVIDE WET SPRINKLER SYSTEM BELOW GYP. BOARD CEILING (AS HIGH AS POSSIBLE IN DECORATIVE WOOD TRUSSES) OR BELOW FLAT ROOF AREA IN EXPOSED CONSTRUCTION AS REQUIRED. ALL EXPOSED HEADS SHALL BE COORDINATED WITH TRUSSES AND LIGHTS AND SHALL CREATE A SYMMETRICAL PATTERN APPROVED BY ARCHITECT.
- 3 PROVIDE WET SPRINKLER SYSTEM FOR LAY-IN CEILING AREAS AND BELOW MEZZANINE AREAS AS REQUIRED. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN.



FLOOR PLAN - FIRE PROTECTION  
SCALE: 1/8" = 1'-0"

MANCINI, ALKATEER & ASSOCIATES, INC.  
MECHANICAL, ELECTRICAL, PLUMBING & CONSTRUCTION CONSULTING  
3000 ALLEGAN ROAD, SUITE 200, ANN ARBOR, MI 48106  
PHONE: 734.769.1600  
FAX: 734.769.1601  
E-MAIL: ADDRESS: michigan@maai.com

FLOOR PLAN - FIRE PROTECTION

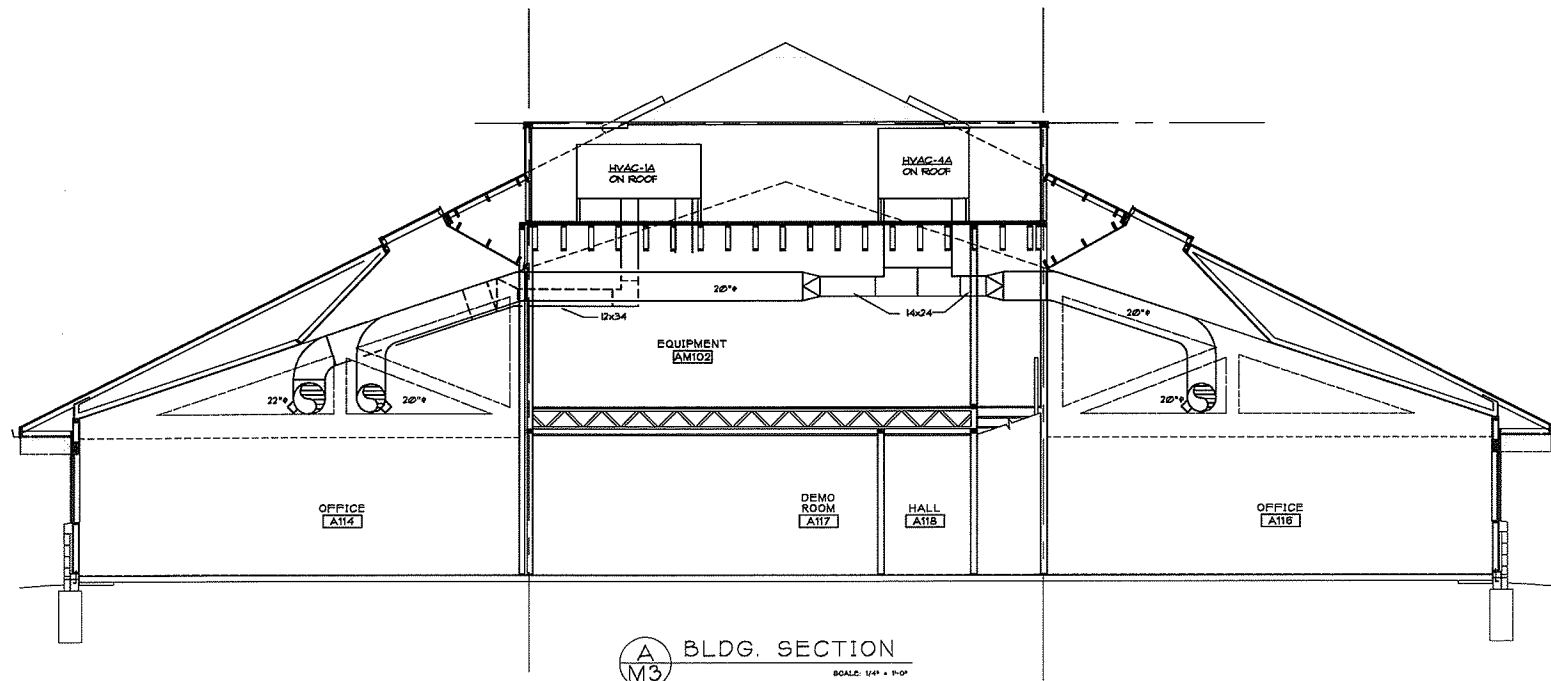
DATE: 03/13/09  
BY: FB  
CHECKED: J. S. ...  
DESIGNED: J. S. ...  
REVIEWED: J. S. ...  
APPROVED: J. S. ...

PROJECT NAME:  
FORESTCOVE  
OFFICE PARK  
PROJECT LOCATION:  
ANN ARBOR  
MICHIGAN

PROJECT NO.  
1603  
SHEET NO.  
M-4  
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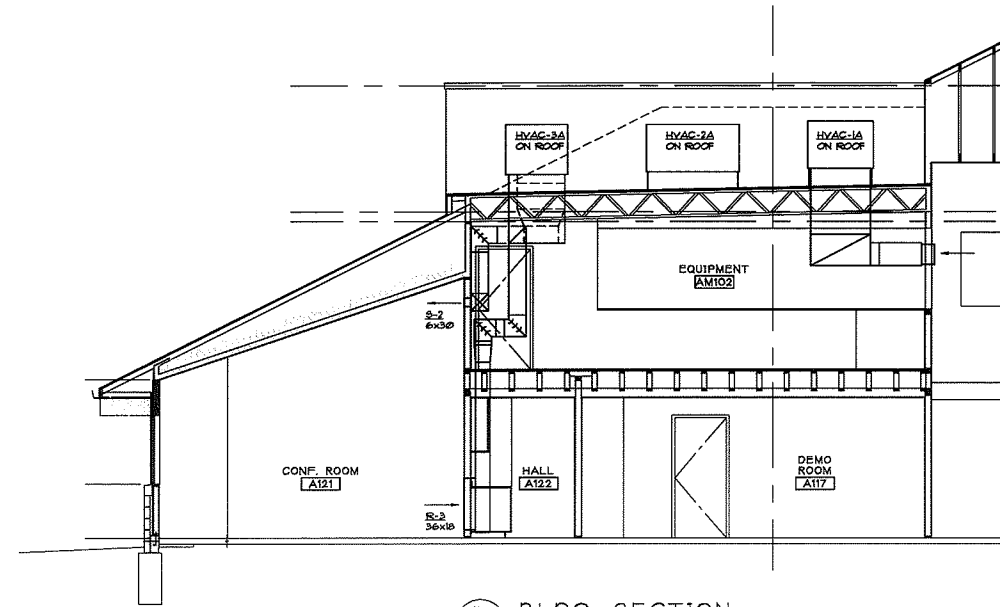
MAA 48100214 , PLOT FOR: B05 , DATE OF PLOT: 3/13/09  
CHANGE MADE ON: ... BY: FB  
SIEGAL/TUOMAALA ASSOCIATES  
ARCHITECTS AND PLANNERS INC  
SUITE 201 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/951-3322

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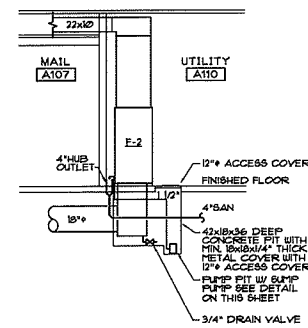
**A** BLDG. SECTION  
SCALE: 1/4" = 1'-0"

NOTE:  
1. BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ. FLOOR.

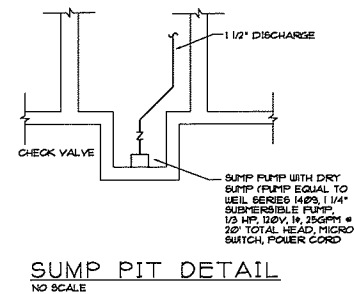


**B** BLDG. SECTION  
SCALE: 1/4" = 1'-0"

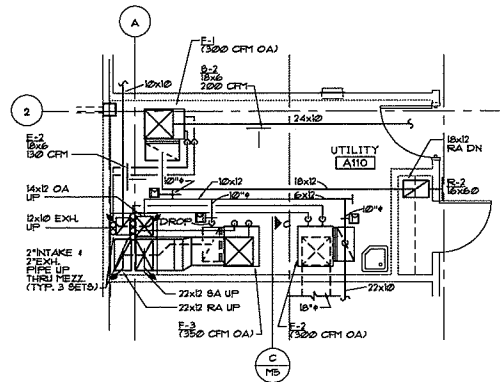
NOTE:  
1. BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ. FLOOR.



**C** BLDG. SECTION  
SCALE: 1/4" = 1'-0"

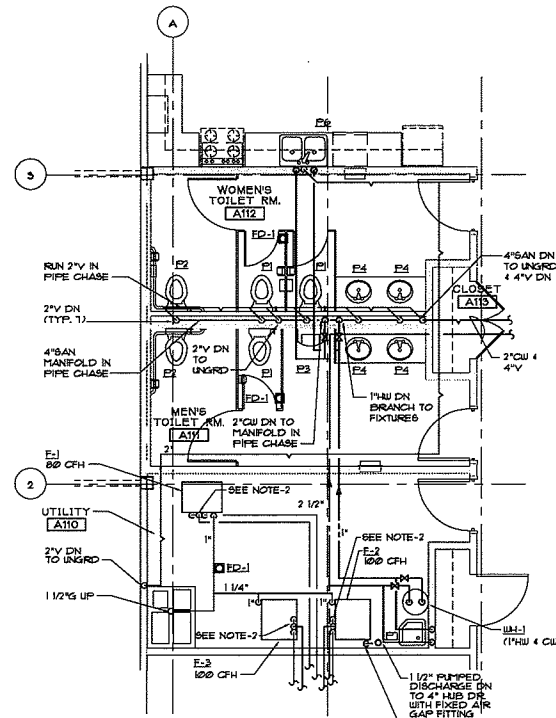


SUMP PIT DETAIL  
NO SCALE



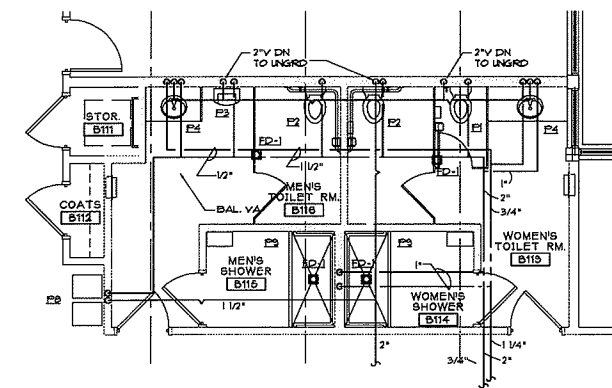
**BUILDING "A" ENLARGED FLOOR PLAN - HVAC**  
SCALE: 1/4" = 1'-0"

NOTE:  
1. FOR CONTINUATION OF DUCTWORK SEE FLOOR PLAN - HVAC ON SHEET E3.



**BUILDING "A" ENLARGED FLOOR PLAN - PLUMBING**  
SCALE: 1/4" = 1'-0"

NOTE:  
1. FOR CONTINUATION OF PIPING SEE FLOOR PLAN - PLUMBING ON SHEET E2.  
2. REFRIGERANT PIPING WITH DOUBLE SUCTION RUBER DOWN TO EVAPORATOR COIL. SEE REFRIGERANT SCHEMATIC PIPING DIAGRAM ON SHEET E1-B.



**BUILDING "B" ENLARGED FLOOR PLAN - PLUMBING**  
SCALE: 1/4" = 1'-0"

NOTE:  
1. FOR CONTINUATION OF PIPING SEE FLOOR PLAN - PLUMBING ON SHEET E2.

MAA 4010015 , PLOT FOR: B15 , DATE OF PLOT: 11/15  
CHANGE MADE ON: , BY: FB  
SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC  
SUITE 201 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248-531-3335

MANCINI, ALKATEEB & ASSOCIATES, INC.  
3000 WESTLAND AVENUE, SUITE 200  
WESTLAND, MICHIGAN 48090  
E-MAIL ADDRESS: MICHIGAN@MCAI.COM  
WWW.MCAI.COM

ENLARGED FLOOR PLANS & SECTIONS

PROJECT NAME:  
**FORESTCOVE OFFICE PARK**  
PROJECT LOCATION:  
**ANN ARBOR MICHIGAN**

PROJECT NO.  
**1603**  
SHEET NO.  
**M-5**  
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CABINET UNIT HEATER SCHEDULE									
TAG	MANUFACTURER & MODEL NO.	LOCATION	MOUNTING	AREA SERVED	CR1	MBH	ELECTRICAL DATA		NOTES/ACCESSORIES
							KW INPUT	VOLT	
CUH-1	CHAMK CUC-RF-1414	VESTIBULE	BRG	VESTIBULE	5000	13.1	4.0	208/1	A B
CUH-2	CHAMK CUC-RF-1414	WATER MTR	BRW	WATER MTR	5000	13.1	4.0	208/1	B C

MOUNTING KEY: SW - SURFACE WALL, RC - RECESSED CEILING, RW - RECESSED WALL, BRG - BEH-RECESSED CEILING, BRW - BEH-RECESSED WALL, F - FLOOR, BC - SURFACE CEILING, RI - RECESSED WALL INVERTED, FI - FLOOR INVERTED.

NOTES AND ACCESSORIES DESIGNATION:  
 A REMOTE THERMOSTAT  
 B BUILT-IN DISCONNECT  
 C INTEGRAL THERMOSTAT

HVAC UNIT SCHEDULE													
TAG	MANUFACTURER & MODEL NO.	AREA SERVED	HEATING CAP		COOLING CAP		SUPPLY FAN		ELECTRICAL	MIN. O.A. CRT	NOTES/ACCESSORIES		
			TYPE	INPUT CFH	OUTPUT MBH	TOTAL MBH	SENS. MBH	CFM	ESP	HP	VOLTS/PHASE	MCA	
HVAC-1A	TRANE YCD-230	OFFICE MAIN EXTERIOR	NAT	120.0	51.0	91.2	66.4	3300	20	2	208/3	44.6	A B C D E G
HVAC-2A	TRANE YCD-236	DEPT. RM. MAIN	NAT	80.0	62.0	36.8	24.9	1800	120	1.0	208/3	19.8	A B C D F G H
HVAC-3A	TRANE YCD-260	CONF. RM. MAIN	NAT	135.0	109.0	65.2	47.4	2300	120	3/4	208/3	32.6	A B C D E G
HVAC-4A	TRANE YCD-50	OFFICE MAIN INTERIOR	NAT	150.0	122.0	153.0	119.0	5500	120	5	208/3	71.0	A B C D E G
HVAC-5A	TRANE YCD-275	OFFICE AREA	NAT	120.0	91.0	70.3	56.0	2875	120	2	208/3	39.5	A B C D E G
HVAC-6A	TRANE YCD-275	OFFICE MAIN EXTERIOR	NAT	120.0	91.0	15.0	53.1	2500	120	2	208/3	39.5	A B C D E G
HVAC-1B	TRANE YCD-230	BLDG. TR. COMMONS	NAT	200.0	166.0	91.6	67.3	3450	120	2	208/3	44.6	A B C D E G
HVAC-2B	TRANE YCD-260	LEARNING	NAT	135.0	109.0	65.2	47.4	2300	120	3/4	208/3	32.6	A B C D E G
AC-1	LIBERTY HED-260-2-EC	SERVER RM.	---	---	---	61.0	48.9	2350	0.50	1	208/3	---	C D F H I J

NOTES AND ACCESSORIES DESIGNATION:  
 A 16" HIGH PRE-FABRICATED CURB  
 B OVERSIZED EVAPORATOR MOTOR  
 C 3" THROUGHWAY FILTERS  
 D FIRESTAT ON UNITS BELOW 2000 CFM SMOKE DAMPERS 2000 CFM AND ABOVE  
 E ECONOMIZER  
 F MANUAL OUTSIDE AIR DAMPER  
 G PROGRAMMABLE THERMOSTAT  
 H LOW AMBIENT CONTROL  
 I BASED ON 15°F DB & 50% RH

WARM AIR FURNACE SCHEDULE													
TAG	MANUFACTURER & MODEL NO.	AREA SERVED	LOCATION	TYPE	ESP	CFM	MIN. O.A. (CFM)	GAS DATA		ELECTRICAL	NOTES/ACCESSORIES		
								TYPE	INPUT	VOLTS	HP	MCA	
F-1	LENNOX G21V-100	EAST CORE	UTILITY	UP-FLOW	6.0	1250	320	NAT.	100.0	120/1	1/2	12.0	A B C D E F
F-2	LENNOX G221V-100	CONF. RMs.	UTILITY	DOWN-FLOW	6.0	1950	320	NAT.	100.0	120/1	1	17.4	B C D E F G
F-3	LENNOX G21V-100	OFF. MEZZ.	UTILITY	UP-FLOW	6.0	2100	350	NAT.	100.0	120/1	1	17.4	B C D E F I

NOTES AND ACCESSORIES DESIGNATION:  
 A EVAPORATOR COIL MODEL G23-46  
 B ROOF TERMINATION KIT  
 C THROUGHWAY FILTER (25%)  
 D PROGRAMMABLE THERMOSTAT  
 E FIRESTAT OR SMOKE DETECTOR  
 F LOW AMBIENT CONTROL  
 G DOWN-FLOW COMBUSTIBLE FLOOR BASE  
 H EVAPORATOR COIL MODEL CR26-51  
 I EVAPORATOR COIL MODEL CR26-65

AIR COOLED CONDENSING UNIT SCHEDULE											
TAG	MANUFACTURER & MODEL NO.	UNIT SERVED	COOLING CAP.		REFRIG.	BUCTION TEMP	LIQUID TEMP	AMBIENT TEMP	ELECTRICAL		NOTES/ACCESSORIES
			TOTAL	SENS.		DEG. F	DEG. F	DEG. F	VOLTS	MCA	
ACCU-1	LENNOX H21-513	F-1	40.1	34.9	HCFC-22	44	95	95	208/3	20.0	A B
ACCU-2	LENNOX H21-653	F-2	64.3	57.2	HCFC-22	44	95	95	208/3	26.6	A B
ACCU-3	LENNOX H21-653	F-3	64.3	57.2	HCFC-22	44	95	95	208/3	26.6	A B
ACCU-4	LENNOX H21-653	MAU-1	64.3	57.2	HCFC-22	44	95	95	208/3	26.6	A B
ACCU-5	LIBERTY FRC267A	AC-1	61.0	48.9	HCFC-22	44	95	95	208/3	---	A B C

NOTES AND ACCESSORIES DESIGNATION:  
 A LOW AMBIENT CONTROL  
 B MOUNT ON CONCRETE PAD  
 C 26.3 USA (WIRE SIZE #10)

FAN SCHEDULE										
TAG	MANUFACTURER & MODEL NO.	SERVICE	LOCATION	CR1	ESP	FAN KEYS	WHEEL TYPE	ELECTRICAL		NOTES/ACCESSORIES
					IN/UC			VOLTS	HP	
EF-1	GREENECK GB-30	TOILET RM. MAIN	ROOF	650	375	RFIC	BI	120/1	1/4	A C D E
EF-2	GREENECK GB-30	TOILET RM. MAIN	ROOF	500	375	RFIC	BI	120/1	1/4	A C D E
EF-3	GREENECK GB-160	LAB	ROOF	2000	375	RFIC	BI	120/1	1/3	A B C D
EF-4	GREENECK SP-224	MACH. RM. MAIN	CEILING	200	250	CLG	FC	120/1	3/80	D E F G H

FAN KEY: RMP - ROOF MOUNTED PROPELLER, RFG - ROOF MOUNTED CENTRIFUGAL, RPA - ROOF MOUNTED AXIAL, RWC - WALL MOUNTED CENTRIFUGAL, ILC - IN-LINE CENTRIFUGAL, ILA - IN-LINE AXIAL.

WHEEL KEY: VA - VANE AXIAL, TA - TUBE AXIAL, CLG - CEILING MOUNT, UT - UTILITY SET (ROOF), WMP - WALL MOUNTED PROPELLER.

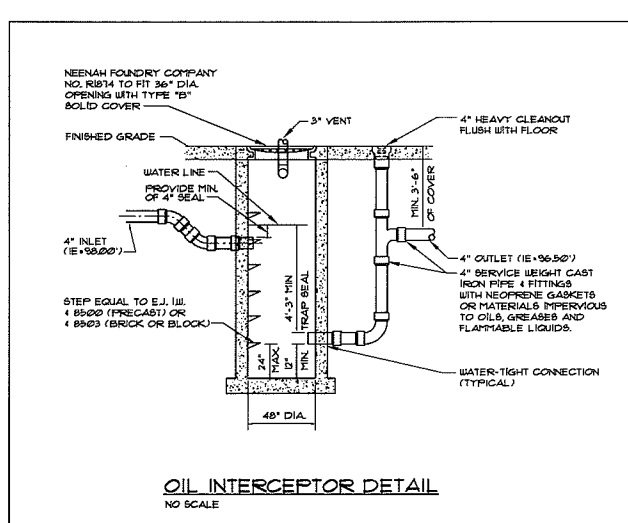
NOTES AND ACCESSORIES DESIGNATION:  
 A ROOF CURB  
 B MOTORIZED BACKDRIFT DAMPERS  
 C BIRDSCREEN  
 D FACTORY MOUNTED 4 WIRE DISCONNECT SWITCH  
 E GRAVITY BACKDRIFT DAMPER  
 F VIBRATION ISOLATORS  
 G THERMOSTAT SET AT 60°F  
 H MODEL RJ-6x8 PITCHED ROOF CAP

AIR INTAKE/RELIEF HOOD SCHEDULE											
TAG	MANUFACTURER & MODEL NO.	LOCATION	SERVICE	CR1	THROAT VEL.	STATIC PRESS.	THROAT SIZE		HOOD SIZE	NOTES/ACCESSORIES	
							WIDTH	LENGTH	DIA.	HEIGHT	
OAI-1	GREENECK GRS-15	EAST MEZZ.	F-1, F-2, F-3	350	5/8	2.0"	18"	18"	37"	1"	A B C

NOTES AND ACCESSORIES DESIGNATION:  
 A 12" HIGH ROOF CURB  
 B GRAVITY BACKDRIFT DAMPER  
 C BIRDSCREEN

HOT WATER HEATER									
TAG	MANUFACTURER & MODEL NO.	LOCATION	ELECTRICAL		CAPACITIES			NOTES/ACCESSORIES	
			VOLTS	KW	STORAGE	TR F	RECOVERY	(GPM)	
WH-1	LOCHNAR BOK 2000S	UTILITY RFL	208/3	9.0	30	100	20.5		A B
WH-2	LOCHNAR HSK 10-202	MECH. RFL	208/3	18.0	52	100	74.0		A
WH-3	LOCHNAR HIC 200E	HALL	120/1	15	2	100	6.0		

NOTES AND ACCESSORIES DESIGNATION:  
 A P & T RELIEF VALVE TO FLOOR DRAIN OR SERVICE SINK  
 B WALL MOUNT SHELF



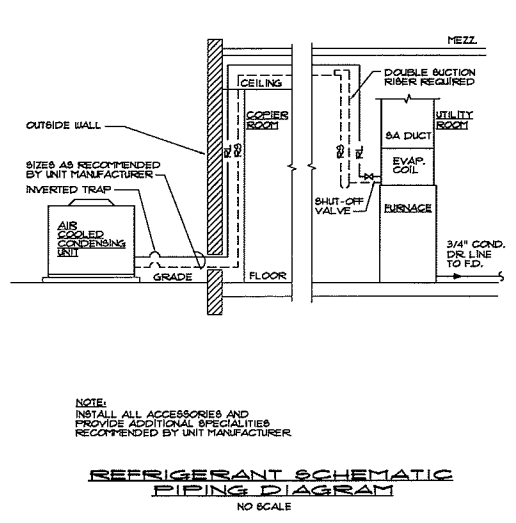
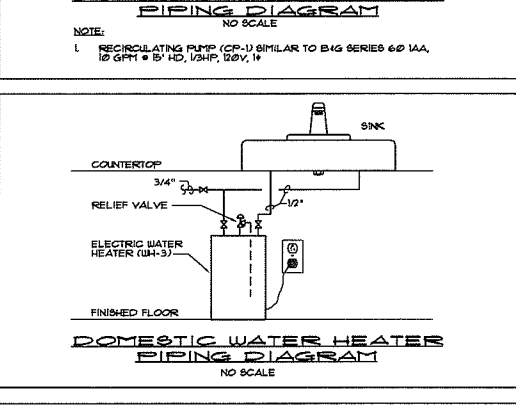
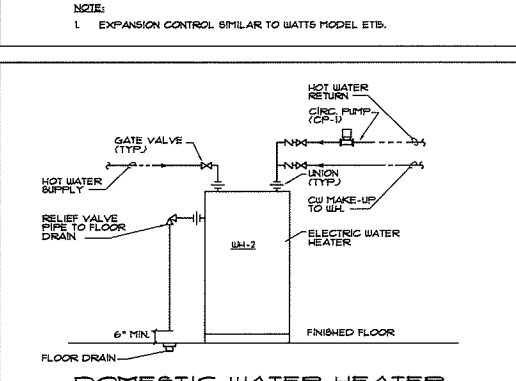
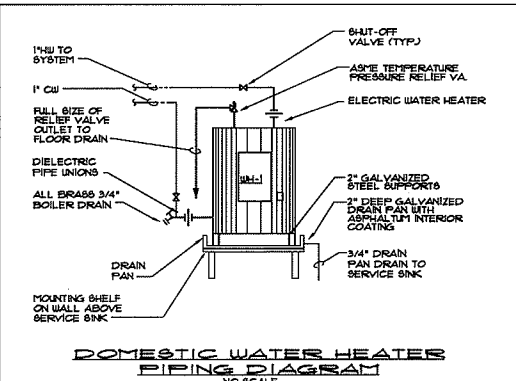
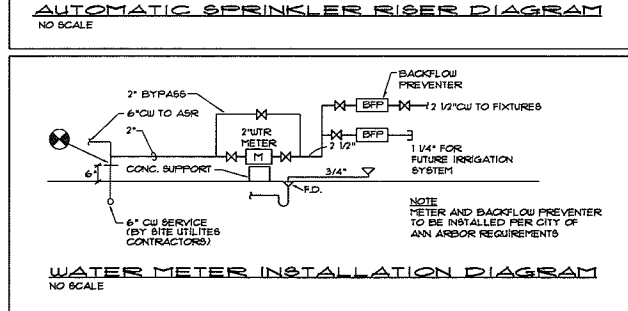
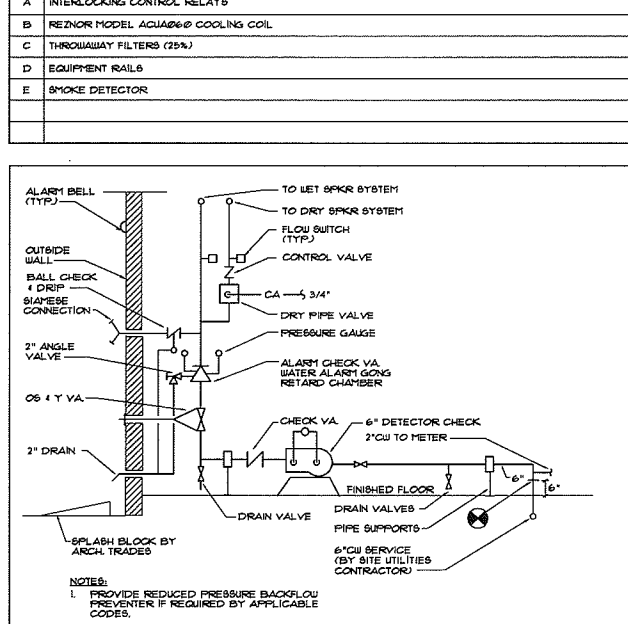
GRILLE, REGISTER & DIFFUSER SCHEDULE										
TAG	MANUFACTURER & MODEL NO.	SERVICE	MOUNTING	OVERALL SIZE	NECK SIZE	NOTES/ACCESSORIES				
B-1	TITUS TDC	SAD	LAY-IN	24x24	SEE DUG.	A B C				
B-2	TITUS TDR	SAD	SURFACE	---	SEE DUG.	A C				
B-3	ACUTHERM TH-10	SAD	SURFACE	24x24	SEE DUG.	C D				
B-4	CT-PP-0	SAD	FLOOR	8EE DUG.	---	A E				
B-5	TITUS TDC	SAD	LAY-IN	24x40	SEE DUG.	A B C				
R-1	TITUS SDF	RAR	LAY-IN	24x12	22x10	A C				
R-2	TITUS SDF	RAR	LAY-IN	24x24	22x22	A C				
R-3	TITUS SDF	RAG	SURFACE	---	SEE DUG.	A C				
R-4	TITUS SDF	RAG	SURFACE	---	SEE DUG.	A C				
E-1	TITUS SDF	EAR	LAY-IN	---	SEE DUG.	A C				
E-2	TITUS SDF	EAR	SURFACE	10x10	---	A C				
T-1	TITUS SDF	TAG	SURFACE	---	SEE DUG.	C				

KEY: SAD - CEILING SUPPLY DIFFUSER, SAG - CEILING OR WALL SUPPLY GRILLE, SAR - CEILING OR WALL SUPPLY REGISTER, TAG - CEILING OR WALL TRANSFER GRILLE, RAR - CEILING OR WALL RETURN REGISTER, RAG - CEILING OR WALL RETURN GRILLE, EAR - CEILING OR WALL EXHAUST REGISTER, EAG - CEILING OR WALL EXHAUST GRILLE.

NOTES AND ACCESSORIES DESIGNATION:  
 A OPPOSED BLADE VOLUME DAMPER  
 B SQUARE TO ROUND ADAPTER  
 C WHITE FINISH  
 D NON-DUMPING TYPE  
 E HEAVY-DUTY MOUNTING FRAME

GAS FIRED MAKE-UP AIR UNIT											
TAG	MANUFACTURER & MODEL NO.	AREA SERVED	TYPE	SUPPLY CFM	TEMP. RISE	ESP. UC	GAS DATA		ELECTRICAL	NOTES/ACCESSORIES	
							TYPE	INPUT	VOLTS	HP	
MAU-1	REZOR CALA-200	MECH. ROOM	INDIRECT	2000	65 F	1.00	NAT.	200.0	208/3	1	A B C D E

NOTES AND ACCESSORIES DESIGNATION:  
 A INTERLOCKING CONTROL RELAYS  
 B REZOR MODEL ACUAG60 COOLING COIL  
 C THROUGHWAY FILTERS (25%)  
 D EQUIPMENT RAILS  
 E SMOKE DETECTOR



MANCINI, ALKATEEB & ASSOCIATES, INC.  
 3000 WESTLAND BLVD., SUITE 200, WESTLAND, MI 48090  
 (313) 487-1100  
 FAX (313) 487-1101  
 WWW.MANCINI-ALKATEEB.COM

DETAILS & SCHEDULES

PROJECT NO. FORESTCROVE OFFICE PARK  
 SHEET NO. M-6  
 DATE: 10/20/06  
 DRAWN BY: J. J. MANNING  
 CHECKED BY: J. J. MANNING  
 PROJECT LOCATION: 3000 WESTLAND BLVD., WESTLAND, MI 48090  
 PROJECT NO. 1603

**ATTACHMENT B  
LEGAL STATUS OF OFFEROR**

(The Respondent shall fill out the provision and strike out the remaining ones.)

The Respondent is:

- A corporation organized and doing business under the laws of the state of \_\_\_\_\_, for whom \_\_\_\_\_ bearing the office title of \_\_\_\_\_, whose signature is affixed to this proposal, is authorized to execute contracts on behalf of respondent.\*

\*If not incorporated in Michigan, please attach the corporation's Certificate of Authority

- A limited liability company doing business under the laws of the State of \_\_\_\_\_, whom \_\_\_\_\_ bearing the title of \_\_\_\_\_ whose signature is affixed to this proposal, is authorized to execute contract on behalf of the LLC.
- A partnership organized under the laws of the State of \_\_\_\_\_ and filed with the County of \_\_\_\_\_, whose members are (attach list including street and mailing address for each.)
- An individual, whose signature with address, is affixed to this RFP.

Respondent has examined the basic requirements of this RFP and its scope of services, including all Addendum (if applicable) and hereby agrees to offer the services as specified in the RFP.

\_\_\_\_\_, Date: \_\_\_\_\_,  
Signature

(Print) Name \_\_\_\_\_ Title \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Phone \_\_\_\_\_ Fax \_\_\_\_\_

Email \_\_\_\_\_



**ATTACHMENT D  
CITY OF ANN ARBOR  
LIVING WAGE ORDINANCE DECLARATION OF COMPLIANCE**

The Ann Arbor Living Wage Ordinance (Section 1:811-1:821 of Chapter 23 of Title I of the Code) requires that an employer who is (a) a contractor providing services to or for the City for a value greater than \$10,000 for any twelve-month contract term, or (b) a recipient of federal, state, or local grant funding administered by the City for a value greater than \$10,000, or (c) a recipient of financial assistance awarded by the City for a value greater than \$10,000, shall pay its employees a prescribed minimum level of compensation (i.e., Living Wage) for the time those employees perform work on the contract or in connection with the grant or financial assistance. The Living Wage must be paid to these employees for the length of the contract/program.

*Companies employing fewer than 5 persons and non-profits employing fewer than 10 persons are exempt from compliance with the Living Wage Ordinance. If this exemption applies to your company/non-profit agency please check here  No. of employees \_\_\_*

The Contractor or Grantee agrees:

- (a) To pay each of its employees whose wage level is not required to comply with federal, state or local prevailing wage law, for work covered or funded by a contract with or grant from the City, no less than the Living Wage. The current Living Wage is defined as \$15.90/hour for those employers that provide employee health care (as defined in the Ordinance at Section 1:815 Sec. 1 (a)), or no less than \$17.73/hour for those employers that do not provide health care. The Contractor or Grantor understands that the Living Wage is adjusted and established annually on April 30 in accordance with the Ordinance and covered employers shall be required to pay the adjusted amount thereafter to be in compliance with Section 1:815(3).

**Check the applicable box below which applies to your workforce**

Employees who are assigned to any covered City contract/grant will be paid at or above the applicable living wage without health benefits

Employees who are assigned to any covered City contract/grant will be paid at or above the applicable living wage with health benefits

- (b) To post a notice approved by the City regarding the applicability of the Living Wage Ordinance in every work place or other location in which employees or other persons contracting for employment are working.
- (c) To provide to the City payroll records or other documentation within ten (10) business days from the receipt of a request by the City.
- (d) To permit access to work sites to City representatives for the purposes of monitoring compliance, and investigating complaints or non-compliance.
- (e) To take no action that would reduce the compensation, wages, fringe benefits, or leave available to any employee covered by the Living Wage Ordinance or any person contracted for employment and covered by the Living Wage Ordinance in order to pay the living wage required by the Living Wage Ordinance.

The undersigned states that he/she has the requisite authority to act on behalf of his/her employer in these matters and has offered to provide the services or agrees to accept financial assistance in accordance with the terms of the Living Wage Ordinance. The undersigned certifies that he/she has read and is familiar with the terms of the Living Wage Ordinance, obligates the Employer/Grantee to those terms and acknowledges that if his/her employer is found to be in violation of Ordinance it may be subject to civil penalties and termination of the awarded contract or grant of financial assistance.

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
City, State, Zip

\_\_\_\_\_  
Print Name and Title

\_\_\_\_\_  
Phone/Email address





**ATTACHMENT E**

<b>VENDOR CONFLICT OF INTEREST DISCLOSURE FORM</b>
--

All vendors interested in conducting business with the City of Ann Arbor must complete and return the Vendor Conflict of Interest Disclosure Form in order to be eligible to be awarded a contract. Please note that all vendors are subject to comply with the City of Ann Arbor’s conflict of interest policies as stated within the certification section below.

If a vendor has a relationship with a City of Ann Arbor official or employee, an immediate family member of a City of Ann Arbor official or employee, the vendor shall disclose the information required below.

1. No City official or employee or City employee’s immediate family member has an ownership interest in vendor’s company or is deriving personal financial gain from this contract.
2. No retired or separated City official or employee who has been retired or separated from the City for less than one (1) year has an ownership interest in vendor’s Company.
3. No City employee is contemporaneously employed or prospectively to be employed with the vendor.
4. Vendor hereby declares it has not and will not provide gifts or hospitality of any dollar value or any other gratuities to any City employee or elected official to obtain or maintain a contract.
5. Please note any exceptions below:

<b>Conflict of Interest Disclosure*</b>	
Name of City of Ann Arbor employees, elected officials or immediate family members with whom there may be a potential conflict of interest.	<input type="checkbox"/> Relationship to employee <hr/> <input type="checkbox"/> Interest in vendor’s company <input type="checkbox"/> Other (please describe in box below)

\*Disclosing a potential conflict of interest does not disqualify vendors. In the event vendors do not disclose potential conflicts of interest and they are detected by the City, vendor will be exempt from doing business with the City.

<b>I certify that this Conflict of Interest Disclosure has been examined by me and that its contents are true and correct to my knowledge and belief and I have the authority to so certify on behalf of the Vendor by my signature below:</b>		
<b>Vendor Name</b>	<b>Vendor Phone Number</b>	
<b>Signature of Vendor Authorized Representative</b>	<b>Date</b>	<b>Printed Name of Vendor Authorized Representative</b>

**ATTACHMENT F  
CITY OF ANN ARBOR NON-DISCRIMINATION ORDINANCE**

Relevant provisions of Chapter 112, Nondiscrimination, of the Ann Arbor City Code are included below.  
You can review the entire ordinance at [www.a2gov.org/humanrights](http://www.a2gov.org/humanrights).

**Intent:** It is the intent of the city that no individual be denied equal protection of the laws; nor shall any individual be denied the enjoyment of his or her civil or political rights or be discriminated against because of actual or perceived age, arrest record, color, disability, educational association, familial status, family responsibilities, gender expression, gender identity, genetic information, height, HIV status, marital status, national origin, political beliefs, race, religion, sex, sexual orientation, source of income, veteran status, victim of domestic violence or stalking, or weight.

**Discriminatory Employment Practices:** No person shall discriminate in the hire, employment, compensation, work classifications, conditions or terms, promotion or demotion, or termination of employment of any individual. No person shall discriminate in limiting membership, conditions of membership or termination of membership in any labor union or apprenticeship program.

**Discriminatory Effects:** No person shall adopt, enforce or employ any policy or requirement which has the effect of creating unequal opportunities according to actual or perceived age, arrest record, color, disability, educational association, familial status, family responsibilities, gender expression, gender identity, genetic information, height, HIV status, marital status, national origin, political beliefs, race, religion, sex, sexual orientation, source of income, veteran status, victim of domestic violence or stalking, or weight for an individual to obtain housing, employment or public accommodation, except for a bona fide business necessity. Such a necessity does not arise due to a mere inconvenience or because of suspected objection to such a person by neighbors, customers or other persons.

**Nondiscrimination by City Contractors:** All contractors proposing to do business with the City of Ann Arbor shall satisfy the contract compliance administrative policy adopted by the City Administrator in accordance with the guidelines of this section. All city contractors shall ensure that applicants are employed and that employees are treated during employment in a manner which provides equal employment opportunity and tends to eliminate inequality based upon any classification protected by this chapter. All contractors shall agree not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, because of any applicable protected classification. All contractors shall be required to post a copy of Ann Arbor's Non-Discrimination Ordinance at all work locations where its employees provide services under a contract with the city.

**Complaint Procedure:** If any individual believes there has been a violation of this chapter, he/she may file a complaint with the City's Human Rights Commission. The complaint must be filed within 180 calendar days from the date of the individual's knowledge of the allegedly discriminatory action or 180 calendar days from the date when the individual should have known of the allegedly discriminatory action. A complaint that is not filed within this timeframe cannot be considered by the Human Rights Commission. To file a complaint, first complete the complaint form, which is available at [www.a2gov.org/humanrights](http://www.a2gov.org/humanrights). Then submit it to the Human Rights Commission by e-mail ([hrc@a2gov.org](mailto:hrc@a2gov.org)), by mail (Ann Arbor Human Rights Commission, PO Box 8647, Ann Arbor, MI 48107), or in person (City Clerk's Office). For further information, please call the commission at 734-794-6141 or e-mail the commission at [hrc@a2gov.org](mailto:hrc@a2gov.org).

**Private Actions For Damages or Injunctive Relief:** To the extent allowed by law, an individual who is the victim of discriminatory action in violation of this chapter may bring a civil action for appropriate injunctive relief or damages or both against the person(s) who acted in violation of this chapter.

**THIS IS AN OFFICIAL GOVERNMENT NOTICE AND  
MUST BE DISPLAYED WHERE EMPLOYEES CAN READILY SEE IT.**

**ATTACHMENT G**

**CITY OF ANN ARBOR LIVING WAGE ORDINANCE**

**RATE EFFECTIVE APRIL 30, 2023 - ENDING APRIL 29, 2024**

**\$15.90 per hour**

If the employer provides health care benefits\*

**\$17.73 per hour**

If the employer does **NOT** provide health care benefits\*

Employers providing services to or for the City of Ann Arbor or recipients of grants or financial assistance from the City of Ann Arbor for a value of more than \$10,000 in a twelve-month period of time must pay those employees performing work on a City of Ann Arbor contract or grant, the above living wage.

**ENFORCEMENT**

The City of Ann Arbor may recover back wages either administratively or through court action for the employees that have been underpaid in violation of the law. Persons denied payment of the living wage have the right to bring a civil action for damages in addition to any action taken by the City.

Violation of this Ordinance is punishable by fines of not more than \$500/violation plus costs, with each day being considered a separate violation. Additionally, the City of Ann Arbor has the right to modify, terminate, cancel or suspend a contract in the event of a violation of the Ordinance.

\* Health Care benefits include those paid for by the employer or making an employer contribution toward the purchase of health care. The employee contribution must not exceed \$.50 an hour for an average work week; and the employer cost or contribution must equal no less than \$1/hr for the average work week.

**The Law Requires Employers to Display This Poster Where Employees Can Readily See It.**

**For Additional Information or to File a Complaint contact  
Colin Spencer at 734/794-6500 or [cspencer@a2gov.org](mailto:cspencer@a2gov.org)**

## APPENDIX A - SAMPLE CONTRACT

### PROFESSIONAL SERVICES AGREEMENT BETWEEN [TBD] AND THE CITY OF ANN ARBOR FOR [TBD]

This agreement ("Agreement") is between the City of Ann Arbor, a Michigan municipal corporation, 301 E. Huron St. Ann Arbor, Michigan 48104 ("City"), and [TBD], a(n) [TBD] \_\_\_\_\_, [TBD], [TBD], [TBD] [TBD] ("Contractor"). City and Contractor agree as follows:

#### 1. DEFINITIONS

**Administering Service Area/Unit** means [TBD].

**Contract Administrator** means [TBD], acting personally or through any assistants authorized by the Administrator/Manager of the Administering Service Area/Unit.

**Deliverables** means all documents, plans, specifications, reports, recommendations, and other materials developed for and delivered to City by Contractor under this Agreement.

**Effective Date** means the date this Agreement is signed by the last party to sign it.

**Project** means [TBD].

**Services** means [TBD] as further described in Exhibit A.

#### 2. DURATION

- A. The obligations of this Agreement shall apply beginning on the Effective Date and this Agreement shall remain in effect until satisfactory completion of the Services unless terminated as provided for in this Agreement.

#### 3. SERVICES

- A. Contractor shall perform all Services in compliance with this Agreement. The City retains the right to make changes to the quantities of Services within the general scope of the Agreement at any time by a written order. If the changes add to or deduct from the extent of the Services, the compensation shall be adjusted accordingly. All such changes shall be executed under the conditions of the original Agreement.
- B. Quality of Services under this Agreement shall be of the level of quality performed by persons regularly rendering this type of service. Determination of acceptable quality shall be made solely by the Contract Administrator.
- C. Contractor shall perform Services in compliance with all applicable statutory, regulatory, and contractual requirements now or hereafter in effect. Contractor shall also comply with and be subject to City policies applicable to independent contractors.

- D. Contractor may rely upon the accuracy of reports and surveys provided by the City, except when a defect should have been apparent to a reasonably competent professional or when Contractor has actual notice of a defect.

**4. INDEPENDENT CONTRACTOR**

- A. The parties agree that at all times and for all purposes under the terms of this Agreement each party's relationship to any other party shall be that of an independent contractor. Each party is solely responsible for the acts of its own employees, agents, and servants. No liability, right, or benefit arising out of any employer-employee relationship, either express or implied, shall arise or accrue to any party as a result of this Agreement.
- B. Contractor does not have any authority to execute any contract or agreement on behalf of the City, and is not granted any authority to assume or create any obligation or liability on the City's behalf, or to bind the City in any way.

**5. COMPENSATION OF CONTRACTOR**

- A. The total amount of compensation paid to Contractor under this Agreement shall not exceed \$0.00, which shall be paid upon invoice by Contractor to the City for services rendered according to the schedule in Exhibit B. Compensation of Contractor includes all reimbursable expenses unless a schedule of reimbursable expenses is included in an attached Exhibit B. Expenses outside those identified in the attached schedule must be approved in advance by the Contract Administrator.
- B. Payment shall be made monthly following receipt of invoices submitted by Contractor and approved by the Contract Administrator, unless a different payment schedule is specified in Exhibit B.
- C. Contractor shall be compensated for additional work or Services beyond those specified in this Agreement only when the scope of and compensation for the additional work or Services have received prior written approval of the Contract Administrator.
- D. Contractor shall keep complete records of work performed (e.g. tasks performed, hours allocated, etc.) so that the City may verify invoices submitted by Contractor. Such records shall be made available to the City upon request and submitted in summary form with each invoice.

**6. INSURANCE/INDEMNIFICATION**

- A. Contractor shall procure and maintain from the Effective Date or Commencement Date of this Agreement (whichever is earlier) through the conclusion of this Agreement, such insurance policies, including those required by this Agreement, as will protect itself and the City from all claims for bodily injury, death, or property damage that may arise under this Agreement; whether the act(s) or omission(s) giving rise to the claim were made by Contractor, Contractor's subcontractor, or anyone employed by Contractor

or Contractor's subcontractor directly or indirectly. Prior to commencement of work under this Agreement, Contractor shall provide documentation to the City demonstrating Contractor has obtained the policies and endorsements required by this Agreement. Contractor shall provide such documentation in a form and manner satisfactory to the City. Currently, the City requires insurance to be submitted through its contractor, myCOI. Contractor shall add registration@mycoitracking.com to its safe sender's list so that it will receive necessary communication from myCOI. When requested, Contractor shall provide the same documentation for its subcontractors.

- B. All insurance providers of Contractor shall be authorized to do business in the State of Michigan and shall carry and maintain a minimum rating assigned by A.M. Best & Company's Key Rating Guide of "A-" Overall and a minimum Financial Size Category of "V". Insurance policies and certificates issued by non-authorized insurance companies are not acceptable unless approved in writing by the City.
- C. To the fullest extent permitted by law, Contractor shall indemnify, defend, and hold the City and its officers, employees, and agents harmless from all suits, claims, judgments, and expenses, including attorney's fees, resulting or alleged to result, from an act or omission by Contractor or Contractor's employees or agents occurring in the performance or breach of this Agreement, except to the extent that any suit, claim, judgment, or expense are finally judicially determined to have resulted from the City's negligence, willful misconduct, or failure to comply with a material obligation of this Agreement. The obligations of this paragraph shall survive the expiration or termination of this Agreement.
- D. Contractor is required to have the following minimum insurance coverage:
  - 1. Professional Liability Insurance or Errors and Omissions Insurance protecting Contractor and its employees - \$1,000,000.
  - 2. Commercial General Liability Insurance equivalent to, as a minimum, Insurance Services Office form CG 00 01 04 13 or current equivalent. The City of Ann Arbor shall be an additional insured. There shall be no added exclusions or limiting endorsements that diminish the City's protections as an additional insured under the policy.

\$1,000,000	Each occurrence as respect Bodily Injury Liability or Property Damage Liability, or both combined
\$2,000,000	Per project General Aggregate
\$1,000,000	Personal and Advertising Injury
  - 3. Worker's Compensation Insurance in accordance with all applicable state and federal statutes; also, Employers Liability Coverage for:

Bodily Injury by Accident - \$500,000 each accident
Bodily Injury by Disease - \$500,000 each employee
Bodily Injury by Disease - \$500,000 each policy limit
  - 4. Motor Vehicle Liability Insurance equivalent to, as a minimum, Insurance Services Office form CA 00 01 10 13 or current equivalent. Coverage shall include all owned vehicles, all non-owned vehicles and all hired vehicles. The

City of Ann Arbor shall be an additional insured. There shall be no added exclusions or limiting endorsements that diminish the City's protections as an additional insured under the policy. The limits of liability shall be \$1,000,000 for each occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined.

5. Umbrella/Excess Liability Insurance shall be provided to apply in excess of the Commercial General Liability, Employers Liability and the Motor Vehicle coverage enumerated above, for each occurrence and for aggregate in the amount of \$1,000,000.
- E. Commercial General Liability Insurance and Motor Vehicle Liability Insurance (if required by this Agreement) shall be considered primary as respects any other valid or collectible insurance that the City may possess, including any self-insured retentions the City may have; and any other insurance the City does possess shall be considered excess insurance only and shall not be required to contribute with this insurance. Contractor agrees to waive any right of recovery by its insurer against the City for any insurance listed herein.
- F. Insurance companies and policy forms are subject to approval of the City Attorney, which approval shall not be unreasonably withheld. Documentation must provide and demonstrate an unconditional and unqualified 30-day written notice of cancellation in favor of the City of Ann Arbor. Further, the documentation must explicitly state the following: (a) the policy number(s); name of insurance company; name(s), email address(es), and address(es) of the agent or authorized representative; name and address of insured; project name; policy expiration date; and specific coverage amounts; (b) any deductibles or self-insured retentions, which may be approved by the City in its sole discretion; (c) that the policy conforms to the requirements specified. Contractor shall furnish the City with satisfactory certificates of insurance and endorsements prior to commencement of any work. If any of the above coverages expire by their terms during the term of this Agreement, Contractor shall deliver proof of renewal and/or new policies and endorsements to the Administering Service Area/Unit at least ten days prior to the expiration date.

## 7. **WAGE AND NONDISCRIMINATION REQUIREMENTS**

- A. Nondiscrimination. Contractor shall comply, and require its subcontractors to comply, with the nondiscrimination provisions of MCL 37.2209. Contractor shall comply with the provisions of Section 9:158 of Chapter 112 of Ann Arbor City Code and assure that Contractor's applicants for employment and employees are treated in a manner which provides equal employment opportunity.
- B. Living Wage. If Contractor is a "covered employer" as defined in Chapter 23 of Ann Arbor City Code, Contractor must comply with the living wage provisions of Chapter 23 of Ann Arbor City Code, which requires Contractor to pay those employees providing Services to the City under this Agreement a "living wage," as defined in Section 1:815 of the Ann Arbor City Code, as adjusted in accordance with Section 1:815(3); to post a notice approved by the City of the applicability of Chapter 23 in every location in which regular or contract employees providing services under this Agreement are working; to maintain records of compliance; if requested by the City, to provide documentation to verify compliance; to take no action that would reduce the

compensation, wages, fringe benefits, or leave available to any employee or person contracted for employment in order to pay the living wage required by Section 1:815; and otherwise to comply with the requirements of Chapter 23.

## **8. REPRESENTATIONS AND WARRANTIES BY CONTRACTOR**

- A. Contractor warrants that the quality of Services shall conform to the level of quality performed by persons regularly rendering this type of service.
- B. Contractor warrants that it has all the skills, experience, and professional and other licenses necessary to perform the Services.
- C. Contractor warrants that it has available, or will engage at its own expense, sufficient trained employees to provide the Services.
- D. Contractor warrants that it has no personal or financial interest in this Agreement other than the fee it is to receive under this Agreement. Contractor certifies that it will not acquire any such interest, direct or indirect, which would conflict in any manner with the performance of the Services. Contractor certifies that it does not and will not employ or engage any person with a personal or financial interest in this Agreement.
- E. Contractor warrants that it is not, and shall not become overdue or in default to the City for any contract, debt, or any other obligation to the City, including real and personal property taxes. Further Contractor agrees that the City shall have the right to set off any such debt against compensation awarded for Services under this Agreement.
- F. Contractor warrants that its bid or proposal for services under this Agreement was made in good faith, that it arrived at the costs of its proposal independently, without consultation, communication, or agreement for the purpose of restricting competition as to any matter relating to such costs with any competitor for these services; and no attempt has been made or will be made by Contractor to induce any other person or entity to submit or not to submit a bid or proposal for the purpose of restricting competition.
- G. The person signing this Agreement on behalf of Contractor represents and warrants that they have express authority to sign this Agreement for Contractor and agrees to hold the City harmless for any costs or consequences of the absence of actual authority to sign.
- H. The obligations, representations, and warranties of this section 8 shall survive the expiration or termination of this Agreement.

## **9. OBLIGATIONS OF THE CITY**

- A. The City shall give Contractor access to City properties and project areas as required to perform the Services.
- B. The City shall notify Contractor of any defect in the Services of which the Contract Administrator has actual notice.



## **10. ASSIGNMENT**

- A. Contractor shall not subcontract or assign any portion of any right or obligation under this Agreement without prior written consent from the City. Notwithstanding any consent by the City to any assignment, Contractor shall at all times remain bound to all warranties, certifications, indemnifications, promises, and performances required of Contractor under the Agreement unless specifically released from the requirement in writing by the City.
- B. Contractor shall retain the right to pledge payments due and payable under this Agreement to third parties.

## **11. TERMINATION OF AGREEMENT**

- A. If either party is in breach of this Agreement for a period of 15 days following receipt of notice from the non-breaching party with respect to the breach, the non-breaching party may pursue any remedies available against the breaching party under applicable law, including the right to terminate this Agreement without further notice. The waiver of any breach by any party to this Agreement shall not waive any subsequent breach by any party.
- B. The City may terminate this Agreement, on at least 30 days' advance notice, for any reason, including convenience, without incurring any penalty, expense, or liability to Contractor, except the obligation to pay for Services actually performed under the Agreement before the termination date.
- C. Contractor acknowledges that if this Agreement extends for several fiscal years, continuation of this Agreement is subject to appropriation of funds through the City budget process. If funds are not appropriated or otherwise made available, the City shall have the right to terminate this Agreement without penalty at the end of the last period for which funds have been appropriated or otherwise made available by giving written notice of termination to Contractor. The Contract Administrator shall give Contractor written notice of such non-appropriation within 30 days after the Contract Administrator has received notice of such non-appropriation.
- D. The expiration or termination of this Agreement shall not release either party from any obligation or liability to the other party that has accrued at the time of expiration or termination, including a payment obligation that has already accrued and Contractor's obligation to deliver all Deliverables due as of the date of termination of the Agreement.

## **12. REMEDIES**

- A. This Agreement does not, and is not intended to, impair, divest, delegate, or contravene any constitutional, statutory, or other legal right, privilege, power, obligation, duty, or immunity of the parties.
- B. All rights and remedies provided in this Agreement are cumulative and not exclusive, and the exercise by either party of any right or remedy does not preclude the exercise

of any other rights or remedies that may now or subsequently be available at law, in equity, by statute, in any other agreement between the parties, or otherwise.

- C. Absent a written waiver, no act, failure, or delay by a party to pursue or enforce any right or remedy under this Agreement shall constitute a waiver of that right with regard to any existing or subsequent breach of this Agreement. No waiver of any term, condition, or provision of this Agreement, whether by conduct or otherwise, shall be deemed or construed as a continuing waiver of any term, condition, or provision of this Agreement. No waiver by either party shall subsequently affect the waiving party's right to require strict performance of this Agreement.

### **13. NOTICE**

All notices and submissions required under this Agreement shall be delivered to the respective party in the manner described herein to the address stated below or such other address as either party may designate by prior written notice to the other. Notices given under this Agreement shall be in writing and shall be personally delivered, sent by next day express delivery service, certified mail, or first class U.S. mail postage prepaid, and addressed to the person listed below. Notice will be deemed given on the date when one of the following first occur: (1) the date of actual receipt; (2) the next business day when notice is sent next day express delivery service or personal delivery; or (3) three days after mailing first class or certified U.S. mail.

If Notice is sent to Contractor:

[TBD]  
ATTN: [TBD]  
[TBD]  
[TBD], [TBD] [TBD]

If Notice is sent to the City:

City of Ann Arbor  
ATTN: [TBD]  
301 E. Huron St.  
Ann Arbor, Michigan 48104

With a copy to: The City of Ann Arbor  
ATTN: Office of the City Attorney  
301 East Huron Street, 3<sup>rd</sup> Floor  
Ann Arbor, Michigan 48104

### **14. CHOICE OF LAW AND FORUM**

This Agreement will be governed and controlled in all respects by the laws of the State of Michigan, including interpretation, enforceability, validity and construction, excepting the principles of conflicts of law. The parties submit to the jurisdiction and venue of the Circuit Court for Washtenaw County, State of Michigan, or, if original jurisdiction can be established, the United States District Court for the Eastern District of Michigan, Southern Division, with respect to any action arising, directly or indirectly, out of this Agreement or the performance or breach of this Agreement. The parties stipulate that the venues referenced in this Agreement are convenient

and waive any claim of non-convenience.

## **15. OWNERSHIP OF DOCUMENTS**

Upon completion or termination of this Agreement, all Deliverables prepared by or obtained by Contractor as provided under the terms of this Agreement shall be delivered to and become the property of the City. Original basic survey notes, sketches, charts, drawings, partially completed drawings, computations, quantities, and other data shall remain in the possession of Contractor as instruments of service unless specifically incorporated in a Deliverable, but shall be made available, upon request, to the City without restriction or limitation on their use. The City acknowledges that the documents are prepared only for the Services. Prior to completion of the Services the City shall have a recognized proprietary interest in the work product of Contractor.

## **16. CONFLICTS OF INTEREST OR REPRESENTATION**

Contractor certifies it has no financial interest in the Services to be provided under this Agreement other than the compensation specified herein. Contractor further certifies that it presently has no personal or financial interest, and shall not acquire any such interest, direct or indirect, which would conflict in any manner with its performance of the Services under this Agreement.

Contractor agrees to advise the City if Contractor has been or is retained to handle any matter in which its representation is adverse to the City and to obtain the City's consent therefor. The City's prospective consent to Contractor's representation of a client in matters adverse to the City, as identified above, will not apply in any instance where, as the result of Contractor's representation, Contractor has obtained sensitive, proprietary, or otherwise confidential information of a non-public nature that, if known to another client of Contractor, could be used in any such other matter by the other client to the material disadvantage of the City. Each matter will be reviewed on a case by case basis.

## **17. SEVERABILITY OF PROVISIONS**

Whenever possible, each provision of this Agreement will be interpreted in a manner as to be effective and valid under applicable law. However, if any provision of this Agreement or the application of any provision to any party or circumstance is prohibited by or invalid under applicable law, that provision will be ineffective to the extent of the prohibition or invalidity without invalidating the remainder of the provisions of this Agreement or the application of the provision to other parties and circumstances.

## **18. EXTENT OF AGREEMENT**

This Agreement, together with all Exhibits constitutes the entire understanding between the City and Contractor with respect to the subject matter of the Agreement and it supersedes, unless otherwise incorporated by reference herein, all prior representations, negotiations, agreements, or understandings, whether written or oral. Neither party has relied on any prior representations in entering into this Agreement. No terms or conditions of either party's invoice, purchase order, or other administrative document shall modify the terms and conditions of this Agreement, regardless of the other party's failure to object to such terms or conditions. This Agreement shall be binding on and shall inure to the benefit of the parties to this Agreement and their permitted

successors and permitted assigns and nothing in this Agreement, express or implied, is intended to or shall confer on any other person or entity any legal or equitable right, benefit, or remedy of any nature whatsoever under or by reason of this Agreement. This Agreement may only be altered, amended, or modified by written amendment signed by Contractor and the City. This Agreement may be executed in counterparts, each of which shall be deemed an original, but all of which together shall be deemed to be one and the same agreement.

#### **19. ELECTRONIC TRANSACTION**

The parties agree that signatures on this Agreement may be delivered electronically or by facsimile in lieu of an physical signature and agree to treat electronic or facsimile signatures as binding.

**[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK; SIGNATURE PAGES FOLLOW]**

SAMPLE

[TBD]

**CITY OF ANN ARBOR**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: Milton Dohoney Jr.

Title: \_\_\_\_\_

Title: City Administrator

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**Approved as to substance:**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**Approved as to form:**

By: \_\_\_\_\_

Name: Atleen Kaur

Title: City Attorney

Date: \_\_\_\_\_



**EXHIBIT A**  
**Scope of Services**

**EXHIBIT B**  
**Compensation**